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November 28, 2007

Town of Crossfield
P.O. Box 500
1412 Railway Street
Crossfield, Alberta T0M 0S0

Attention: Ms. Cheryl Skelly
Chief Administrative Officer

Client	Proj	Ph	BG
W759	004	2	
To	Initial	D/M/Y	
ALB	AS	4/12/07	
BKG			

File: W759-004.2

COURIER

**RE: SUNSET RIDGE DEVELOPMENTS LTD.
AREA STRUCTURE PLAN COMPLETE WITH ADDENDUM
PLAN 0111521 - BLOCK 5**

On behalf of Sunset Ridge Developments Ltd., please find enclosed six (6) copies of the Area Structure Plan with the required Addendum for the above noted property.

If you have any questions, please do not hesitate to contact the undersigned.

Yours truly,



for Arlen Babcock, B.A.Sc., P. Eng.
Project Engineer



for Lorene Archdekin
Plan Pro Corporation

ALB/daf

cc: Mr. Ricky Chan – Sunset Ridge Developments Ltd. (w/encl. Courier)
Mr. Luigi Sollecito – Sunset Ridge Developments Ltd. (w/o encl Courier)

AREA STRUCTURE PLAN

SUBMITTED TO

THE TOWN OF CROSSFIELD

for

SUNSET RIDGE DEVELOPMENT

BLOCK 5, NW 26-28-1-W5M

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File: W759-004.2

November 2007

November 26, 2007

SUNSET RIDGE AREA STRUCTURE PLAN ADDENDUM

In response to circulation comments, the following modifications have been made:

Section 2.4.2 Modification:

“This channel acts as an intermittent creek bed for Nose Creek” is deleted and is replaced by
“This channel is a Town of Crossfield Stormwater Conveyance Channel”.

Section 5.1.2 Revised Policy

Policy 5.1.2.8 Parking shall be included on both sides of all plan area streets excluding Highway 574.

Section 5.1.2 New Policies

Policy 5.1.2.9 Dedication of right-of-way connection for southern boundary access will be addressed in the appropriate tentative subdivision plan phase.

Policy 5.1.2.10 Starting with Phase 2, a Construction Management Plan will be completed for future Tentative Subdivision Plans.

Policy 5.1.2.11 Roadside Development Permits will be obtained prior to construction within applicable phases.

Section 5.1.3 New Policy

Policy 5.1.3.6 Prior to the development of the multi-family or mixed use areas, a detailed study regarding the ability of the Town of Crossfield’s water supply to handle these developments will be required.

Section 5.1.5 New Policies

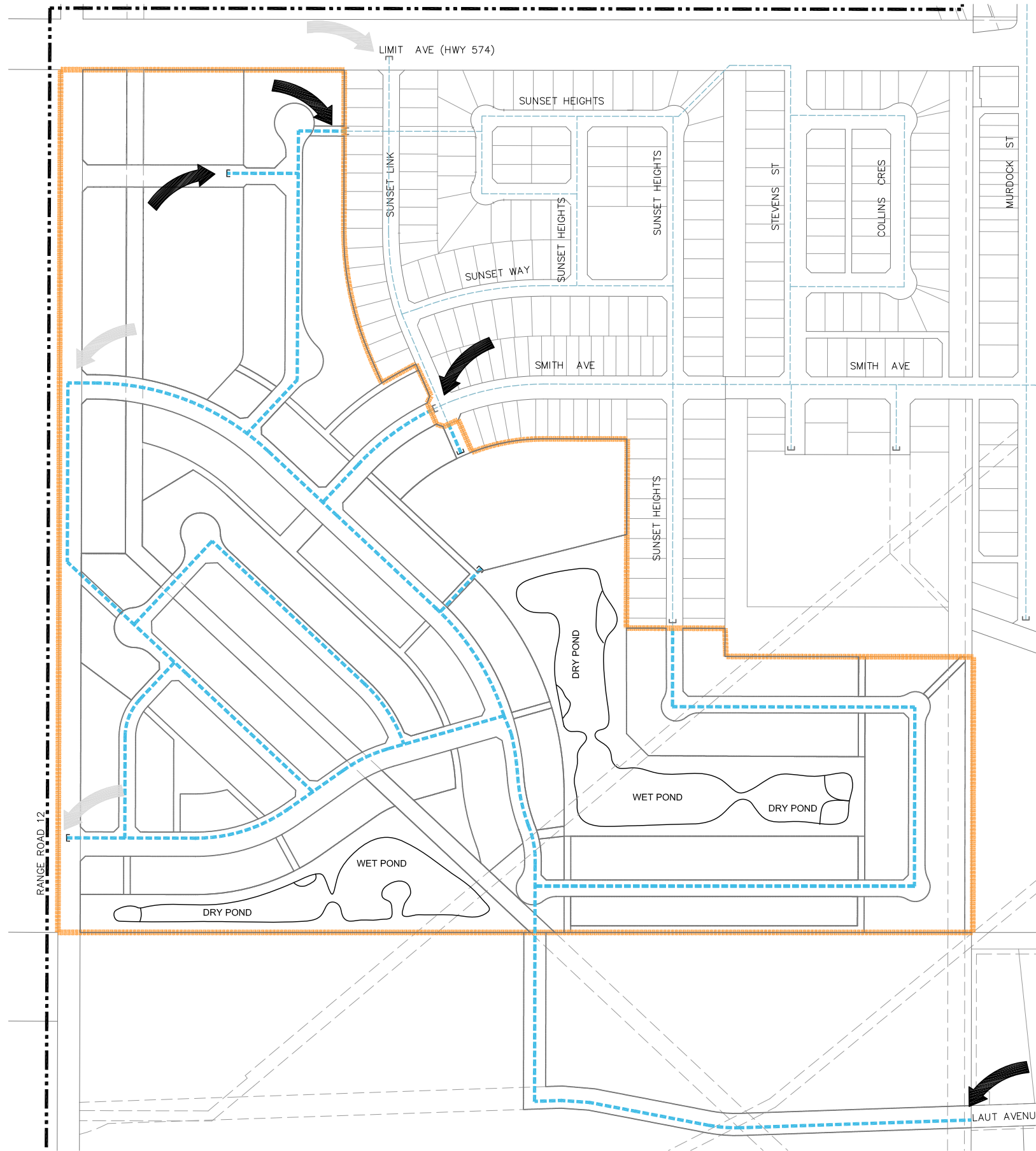
Policy 5.1.5.8 Design of the Stormwater Management System shall be in accordance with the Town of Crossfield standards

Policy 5.1.5.12 Direct residential access to Highway 574 will not be permitted.

Mapping

The attached Figure 7.0 Water Servicing Mains replaces the existing Figure 7.0









The attached Figure 8.0 Wastewater Mains replaces the existing Figure 8.0.



SUNSET RIDGE
CROSSFIELD, ALBERTA

WATER SERVICING MAINS

LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PROPOSED WATER MAIN
-  EXISTING WATER MAIN
-  PROPOSED PLUG
-  EXISTING PLUG
-  PROPOSED CONNECTION
-  FUTURE SERVICE CONNECTION

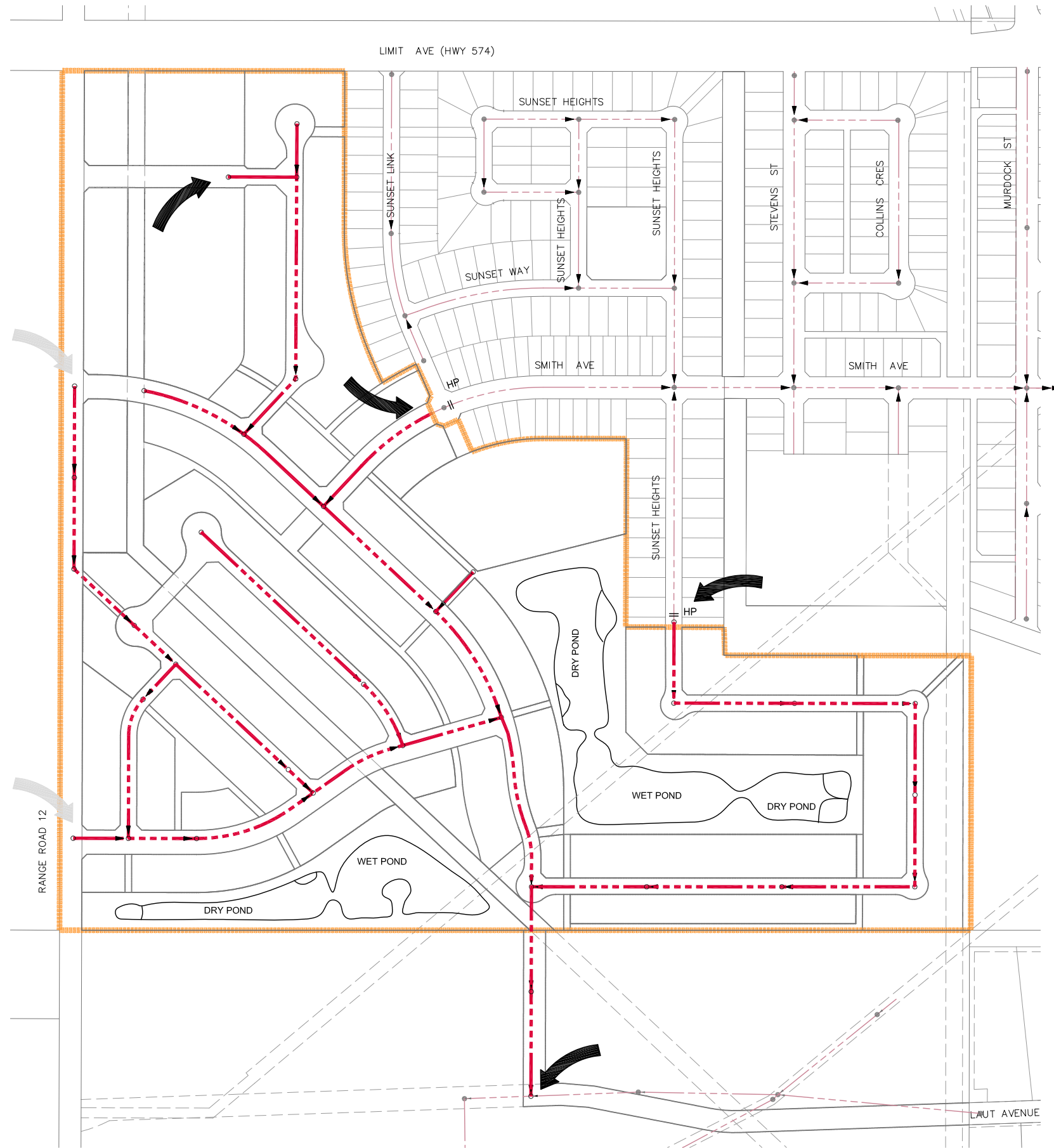
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W759-004 **FIGURE 7.0b**

SUNSET RIDGE
CROSSFIELD, ALBERTA

WASTEWATER MAINS



LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PROPOSED MAIN
-  PROPOSED MANHOLE
-  PIPE FLOW DIRECTION
-  PROPOSED PLUG
-  EXISTING MAIN
-  EXISTING MANHOLE
-  EXISTING PLUG
-  PROPOSED CONNECTION
-  FUTURE SERVICE CONNECTION

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W759-004 **FIGURE 8.0b**

File: W759-004.2

September 27, 2007

COURIER

Town of Crossfield
P.O. Box 500
1412 Railway Street
Crossfield, Alberta T0M 0S0

Attention: Ms. Cheryl Skelly
Chief Administrative Officer

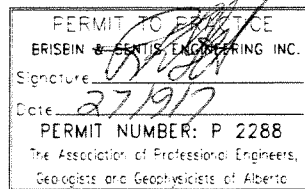
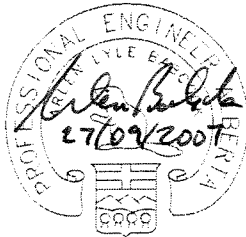
**RE: SUNSET RIDGE DEVELOPMENTS LTD.
REVISED AREA STRUCTURE PLAN
PLAN 0111521 - BLOCK 5**

On behalf of Sunset Ridge Developments Ltd., we are pleased to submit the Area Structure Plan for the above noted property revised as per comments received from C2W Planning and Design Ltd. This site offers numerous advantages for a residential development and is well suited for access and services.

The consulting team thanks the staff of the Town of Crossfield for the advice and comments provided during the preparation of this revised plan. Their diligence and professionalism are appreciated.

If you have any questions, please do not hesitate to contact the undersigned.

Yours truly,



Arlen Babcock, B.A.Sc., P. Eng.
Project Engineer

Lorene Archdekin
Plan Pro Corporation

ALB/daf

cc: Mr. Ricky Chan – Sunset Ridge Developments Ltd. (w/encl. Courier)
Mr. Luigi Sollecito – Sunset Ridge Developments Ltd. (w/o encl Courier)

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Introduction

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1. INTRODUCTION

1.1 PURPOSE OF THE PLAN

The purpose of the Sunset Ridge Area Structure Plan (Sunset Ridge ASP) of Town of Crossfield is to provide a long term vision and framework for future land use and development within the Plan Area through a statutory plan.

The Sunset Ridge ASP also establishes planning policy to guide the future land use and development of the Plan Area. The enactment of these policies by future development proposals and the implementation of these policies through municipal approval authorities will ensure the envisioned plan objectives are achieved.

1.2 PLAN OBJECTIVES

The Objectives of this Plan are:

- 1.2.1 To provide for public engagement in the Sunset Ridge ASP planning process;
- 1.2.2 To create a future land use scenario (primarily containing residential development along with limited neighborhood commercial) that provides clear direction for the Plan Area in a manner consistent with the policies of the Town of Crossfield;
- 1.2.3 To provide for the orderly, efficient and sustainable development of these land uses;
- 1.2.4 To integrate a range of residential land uses to create a highly desirable community through appropriate siting and buffering of land uses;
- 1.2.5 To use urban design to orient the residential areas to create as many view corridors and specifically, mountain view lots as possible;
- 1.2.6 To create mixed use (commercial and high density residential) land use at the intersection of Range Road 12 and Limit Avenue;
- 1.2.7 To consider the Plan Area's relationship and linkages within the Town of Crossfield (through the integration of trails, roads and land uses);
- 1.2.8 To encourage the development of a "healthy community" and a "pedestrian friendly environment" within the Plan area through the provision of a network of interrelated walkways, defined community gathering spaces and green spaces;
- 1.2.9 To create high quality development within the Plan area through the implementation of architectural controls.

1.3 THE CONCEPT

The Sunset Ridge ASP provides a policy framework for the subdivision and development of the remainder of a ¼ section within the Town of Crossfield adjacent to the Town's western boundary. The Plan Area offers an excellent opportunity for the development of residential lands and in so doing will provide additional capability to respond to the expected continuing growth needs within the Town.

Main connections to the residential areas are provided from the west (*Range Road 12*) and the east extensions of Smith Ave and Sunset Heights. The low density development of single detached dwellings extends in a spine from the mixed use area in the northwest corner to the southern boundary of the Plan Area and forms the predominant land use in the Sunset Ridge ASP. Low to medium density – single and semi detached/duplex homes are situated along Smith Avenue and at the western Plan Area entrance. Medium to high density residential – apartment or attached housing is located north of and overlooking the most northerly dry pond amenity. These areas will be joined by walkways for both cyclists and pedestrians.

The Sunset Ridge ASP also includes a mixed use area at the intersection of Range Road 12 and Limit Avenue which will provide neighbor commercial services while at the same time offer residential opportunities for “affordable” housing.

1.4 POLICY AND LEGISLATIVE CONTEXT

1.4.1 Municipal Government Act

This Area Structure Plan is based on the authority and requirements of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26. Part 17, Division 4, Section 633(1) of this Act states:

- 633 (1) *For the purpose of providing a framework for subsequent subdivision and development of an area of land, a council may, by bylaw, adopt an area structure plan.*
- (2) *An Area Structure Plan*
- (a) *must describe*
 - (i) *the sequence of development proposed for the area,*
 - (i) *the land uses proposed for the area, either generally or with respect to specific parts of the area,*
 - (i) *the density of population proposed for the area either generally or with respect to specific parts of the area, and*
 - (i) *the general location of major transportation routes and public utilities, and*
 - (b) *may contain any other matters the council considers necessary.*

1.4.2 Town of Crossfield General Municipal Plan

The General Municipal Plan was adopted in 1983 by Bylaw 537. The Town of Crossfield General Municipal Plan is a statutory plan that establishes the broad parameters of planning vision and direction for the Town of Crossfield and determines planning direction for this Sunset Ridge ASP.

1.4.3 Town of Crossfield Land Use Bylaw No. 2005-16

More specific local bylaws will be applied to Sunset Ridge ASP lands as they are considered for development including the Town of Crossfield Land Use Bylaw.

Following the adoption of the Sunset Ridge ASP, any change to the existing land use will require an approved application to the Town of Crossfield for a land use amendment. The proposed land use must adhere to the land use requirements contained within the Sunset Ridge ASP.

2. BACKGROUND AND PLAN AREA

2.1 BACKGROUND

During the past decade, the Town of Crossfield in a similar trend to urban areas within Southern Alberta, has experienced population growth. Significant and innovative residential, commercial and industrial developments now complement the landscape and service a growing population base. The Town's development has been centered in an attractive Town centre. Today, the Town of Crossfield remains a desirable place to live. Consequently, the demand for residential development continues to be strong and this Plan serves to set a framework to accommodate additional residential development in the west portion of the Town of Crossfield that is representative of the quality and characteristics that the Town of Crossfield has come to expect.

Substantial planning history affects the NW ¼, Section 26-28-1 W5M in which this Plan Area is situated. An Outline Plan was approved in 1982 and was subsequently modified by a "Concept Plan Brief" in April 1990. In 1993, the "Westgate Estates" land located in the northeast corner of this quarter section proceeded through subdivision and partial development. A transmittal of decision from the Calgary Regional Planning Commission (*February 18, 1993*) outlined the conditions of approval for these lands and included the reserve dedication.

This Area Structure Plan was initiated in response to the need to prepare for additional residential development in the Town of Crossfield. A Motion by the Town of Crossfield Council in October of 2001 determined that an Area Structure Plan was required for the balance of the undeveloped lands within this ¼ section.

Shortly after the request for an Area Structure Plan was approved, the Knight's View Area Structure Plan was submitted to the Town of Crossfield. During that time a Master Drainage Plan¹ was prepared by Westhoff Engineering Resources. The Town of Crossfield conditionally approved the subdivision and development of Phase 1 (150 lots) of Sunset Ridge based on a revised submission from the Knight's View initial Area Structure Plan.

This Sunset Ridge ASP addresses the requirement in this area for an Area Structure Plan to be prepared and approved by the Town of Crossfield for the balance of the Sunset Ridge lands.

¹Master Drainage Plan for the Town of Crossfield, Westhoff Engineering Resources Ltd., December 2002.

2.2 PLAN AREA

The Plan Area is situated on the westerly boundary of the Town of Crossfield and is bounded to the north by Limit Avenue (Highway 574) and to the west by Range Road

12. The Plan Area comprises 95.15 acres (38.51 hectares) as shown on Figure 1. The legal description is Plan 0111521 - Block 5 of the NW $\frac{1}{4}$, Section 26-28-1 W5M.

Policy 2.2.1 Policies contained in the Plan apply to lands identified in Figure 1 – Plan Area.

Policy 2.2.2 For the purposes of this Plan, the boundaries of the Plan Area shall be considered as approximate only and minor variations due to road widening or other factors deemed appropriate shall not require an amendment to this Plan.

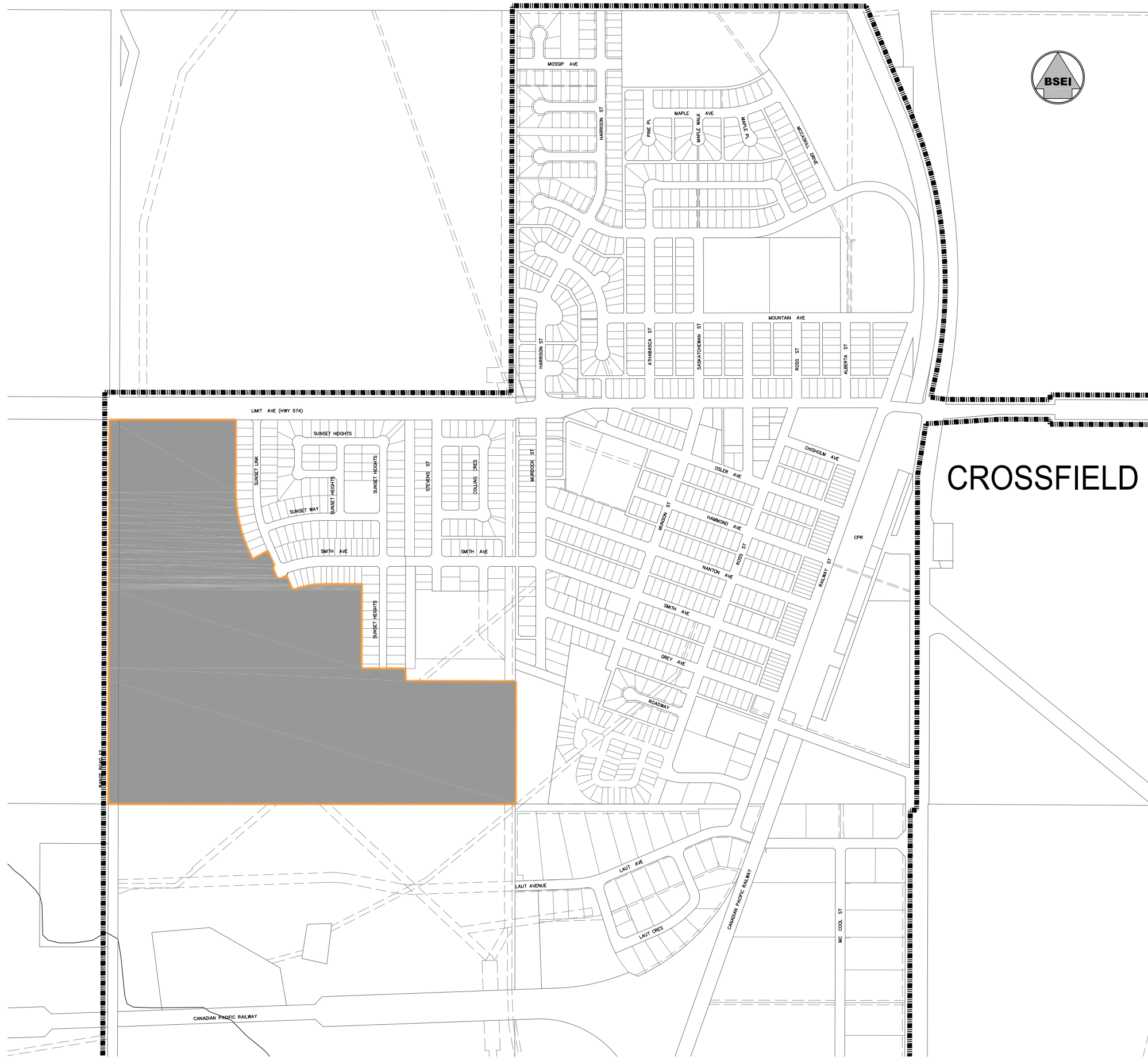
2.3 COMMUNITY CONTEXT AND LAND USE

The existing land uses shown on Figure 2 – Existing Land Use Districts, are contained within the north eastern portion of the quarter section (NW26-28-1-5), labelled “Sunset Ridge Phase 1” and “Westgate Estates”, and includes the residential designations of R-1 (*Residential Single Detached District*), R-2 (*Residential Two Dwelling District*), and RSC (*Residential Special Community District*). All of these areas are developed with the exception of the RSC District.

Adjacent to the south boundary of NW26-28-1-5 is an undeveloped M-1 or light industrial district. Municipal reserves are located along adjacent property of the entire eastern edge of the Plan Area with the exception of Murdock Park (*a PSR – Public Park, School and Recreation District*) that is located in the south-east corner. The properties to the north and west are designated AG-1 or Agricultural Conservation (1) District within the Municipal District of Rocky View No. 44.

The Plan Area is presently designated Urban Reserve District (UR) by the Town of Crossfield Land Use Bylaw. The purpose of the Urban Reserve District (UR) is “to protect land suited for urban uses from premature subdivision and development, which may prejudice the future use of the land while providing for a limited range of rural pursuits and private recreational uses that utilizes large areas of land. Proposed urban development shall be supported by the provision of an approved area structure plan, conceptual scheme and by a plan of subdivision.”²



²Town of Crossfield Land Use Bylaw No. 2005 -16, p 191.



SUNSET RIDGE
CROSSFIELD, ALBERTA

PLAN AREA

LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA

CROSSFIELD

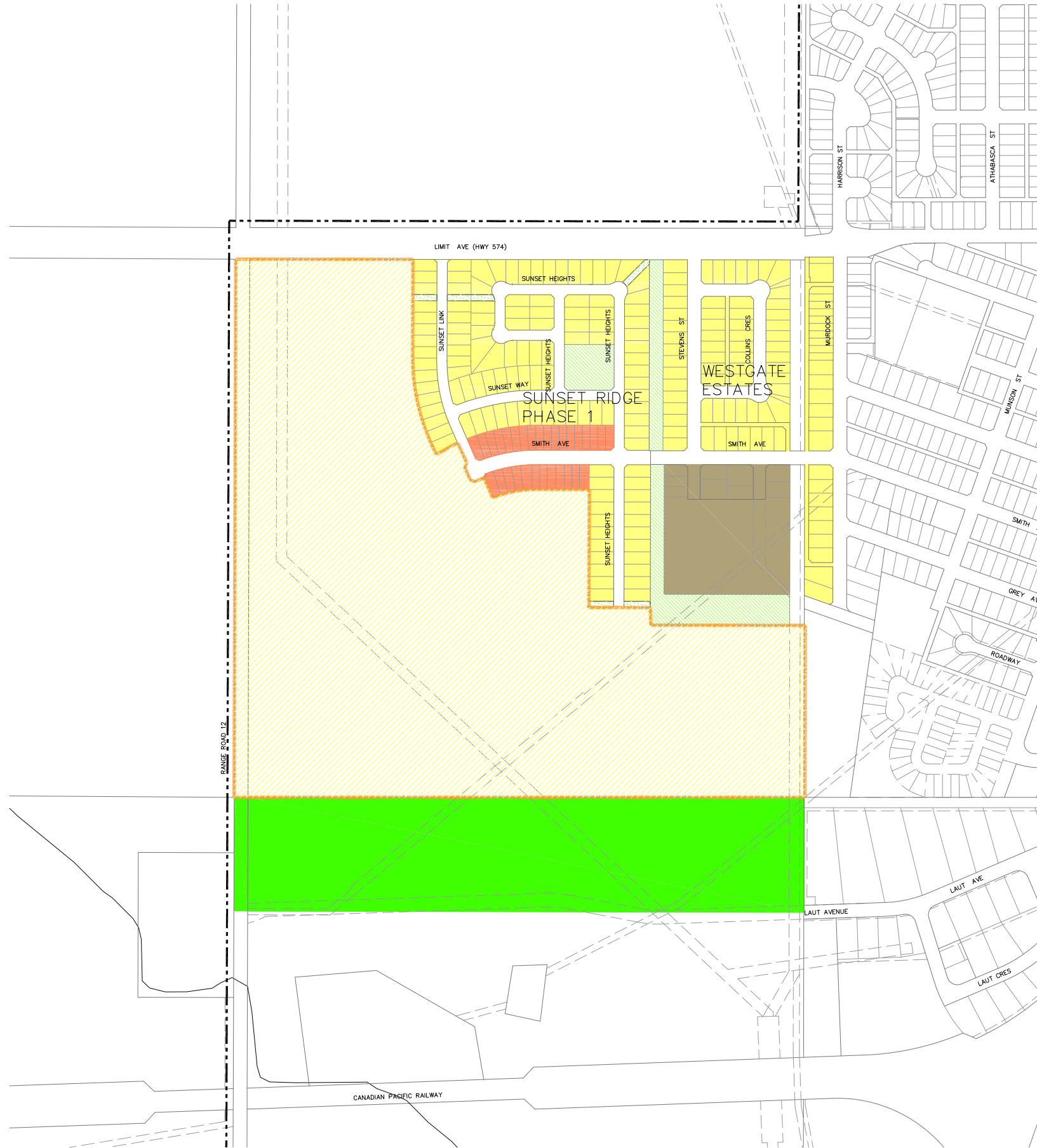
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SUNSET RIDGE

CROSSFIELD, ALBERTA

EXISTING LAND USE DISTRICTS



LEGEND:

- TOWN BOUNDARY
- PLAN AREA
- RESIDENTIAL SINGLE DETACHED (R-1)
- RESIDENTIAL TWO DWELLING (R-2)
- PUBLIC SERVICE, SCHOOL AND RECREATION (PSR MUNICIPAL RESERVE (MR))
- PUBLIC SERVICE, SCHOOL AND RECREATION (PSR PUBLIC UTILITY LOT(PUL))
- LIGHT INDUSTRIAL (M-1)
- URBAN RESERVE (UR)
- RESIDENTIAL SPECIAL COMMUNITY (RSC)

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W759-004 **FIGURE 2.0**

2.4 NATURAL FEATURES/CONDITIONS

2.4.1 Terrain

The Plan Area is situated within a geological deposit, referred to by the Alberta Research Council (S. R. Moran) as draped Moraine. The topography contained within the Plan Area is a gentle incline from the south to the north edge of the area. The 0.5 meter interval contours of this area are included on Figure 3 – Existing Plan Area Contours. The Plan Area is believed to contain no terrain hazards which would limit its subdivision and development for urban land uses.

Policy 2.4.1.1 Alterations to the existing terrain within the Plan Area as shown on Figure 3 – Existing Plan Area Contours shall proceed in accordance with a storm water management plan and a grading plan prepared by the Developer at the tentative plan preparation stage for Phase 2 of this Plan and approved by the Town of Crossfield.

2.4.2 Drainage

The drainage for the Plan Area flows from the north to the existing low lying areas in the south and east portion of the Plan Area. Overland drainage swales contained within the Municipal Reserve on the east side of the Plan Area presently carry stormwater through the temporary impoundment facility to an existing drainage channel located in the southeast corner of the Plan Area. This channel acts as an intermittent creek bed for Nose Creek.

The “Master Drainage Plan for Knights View Subdivision in the Town of Crossfield” prepared by Westhoff Engineering Resources Ltd. in November of 2001 describes the existing stormwater drainage for the Plan Area.

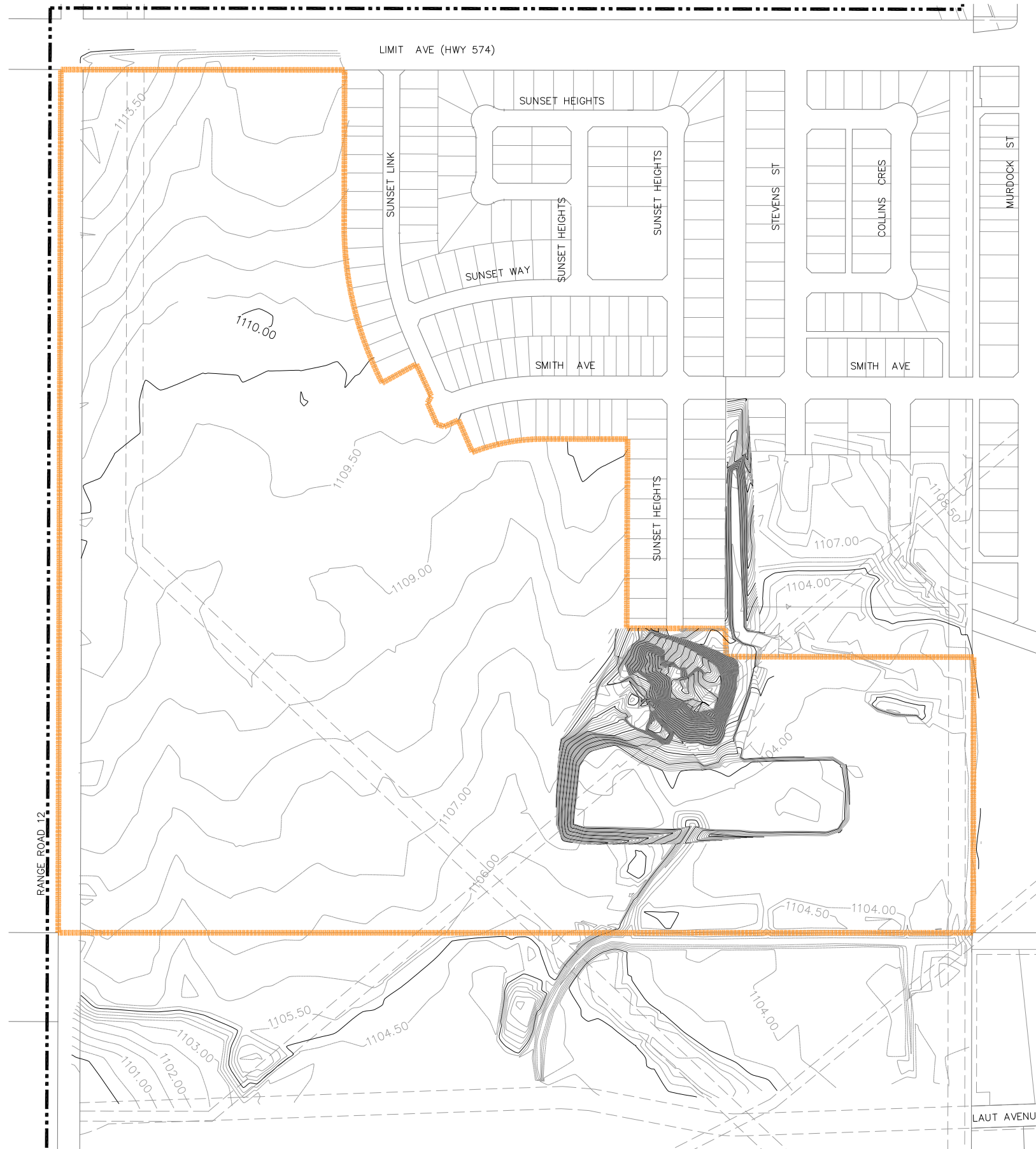
Policy 2.4.2.1 Best management practices are required to manage Stormwater quality and quantity, ensuring both that post-development storm water runoff flows are kept at pre-development rates and that ground or surface water quality is not impacted.

Policy 2.4.2.2 A Storm Water Management Report shall be prepared for the Plan Area on a phase by phase basis at the subdivision approval stage in accordance with Town of Crossfield standards and specifications all to the satisfaction of the Town of Crossfield and Alberta Environment.



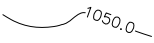


Policy 2.4.2.3 Pursuant to Policy 2.4.2.2, a Storm Water Management Plan prepared for the Plan Area at the subdivision approval stage in accordance with Town of Crossfield standards and specifications shall provide

SUNSET RIDGE
CROSSFIELD, ALBERTA

EXISTING PLAN
AREA CONTOURS



LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  CONTOURS
(major) - 5.0 meters
-  CONTOURS
(minor) - 0.5 meters
-  GEODETIC ELEVATION
(meters)

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W759-004 **FIGURE 3.0**

comprehensive “best management practices” required to manage storm water within the Plan Area.

2.4.3 Soils/Geology

The surficial soils found throughout the Plan Area are topsoil/browns and/or an organic lacustrine silt/clay. The sub-soils generally consist of variable silt/sand overlying a substrate deposit of clay silt (*till*) soil. Bedrock consisting of interbedded mudstone and sandstone underlie these materials at depths of 5.0 to 30.0 metres. Additional information is included in the report titled “Subsoil Investigation Town of Crossfield Subdivision” by Almor Engineering Associates Ltd., June 2001.

2.4.4 Vegetation

All of the Plan Area is now used for agricultural crops. There is no substantive tree or other vegetative cover found within the Plan Area.

2.4.5 Sight Lines/Views

Due to the gentle slope downwards from the north boundary of the Plan Area towards the south boundary, most of this Plan Area offers superb mountain views to the southwest.

2.5 EXISTING MAN MADE FEATURES

2.5.1 Heritage/Archaeology

Initial research indicates that no important historical resources are on record as being situated within the Plan Area.³

Policy 2.5.1.1 If sites of historical importance are identified during the development of the Plan Area, it is important that these sites are removed, preserved or avoided prior to continuing with development.

Policy 2.5.1.2 An “Historical Impact Overview” may be required for the Sunset Ridge ASP prior to its subdivision and development based on information from Alberta Community Development, which identifies areas that have a high likelihood of containing historical resources.

Policy 2.5.1.3 If a component of the Plan Area is identified as having historical importance then an “Historical Impact Assessment” shall be prepared by a qualified archaeologist and in accordance with Alberta Community Development requirements and guidelines.

³Source of information, Province of Alberta, Alberta Community Development, J. Damjar, Site Data Compiled.

2.5.2 Agriculture

This Plan Area is now used for agricultural purposes. Specifically it is used for cropland in the interim prior to urban development.

2.5.3 Open Space Requirements/Existing Reserves

Open space is a key component in the development of a Plan Area containing a residential community. Due to a previous over dedication of reserves for the NW 26-28-1 W5M, the normal 10% Municipal Reserve dedication of the Plan Area portion of this quarter section is reduced to a total 3.783 ha (9.349 ac).

The following table shows the current requirements for Municipal Reserve dedication within the Plan Area.

TABLE 1
SUMMARY OF MUNICIPAL RESERVE DEDICATION REQUIREMENTS

<i>Description</i>	<i>Area ha (ac)</i>
Remaining MR Dedication Requirement	4.258 (10.522)
Sunset Ridge Phase 1 MR Dedication	0.475 (1.173)
Required Sunset Ridge Area Structure Plan Municipal Dedication	3.783 (9.349)

2.5.4 Transportation

Currently there are no roads within the undeveloped area within the Sunset Ridge Area Structure Plan (Sunset Ridge ASP). Access to the Sunset Ridge ASP area will be provided by Limit Avenue (*becoming Secondary Highway 574 west of the Town of Crossfield boundary*) on the north edge of the site. Smith Avenue, to the east, provides another direct linkage to the Town of Crossfield through the "Sunset Ridge Phase 1" and "Westgate Estates" development. Range Road 12 both provides for potential access and forms the west boundary to the Sunset Ridge ASP. Upgrades are proposed to Range Road 12 that, when required, will meet the residential collector design standard.

The intersection at Limit Avenue and Range Road 12 will be upgraded as required by the Approving Authorities.

The prevention of direct residential lot access along Limit Avenue creates a much safer and cohesive internal development.

Policy 2.5.4.1 Access to residential lots along Limit Avenue should be permitted only via internal residential or collector roads within the Plan Area.

2.5.5 Existing Services

A temporary stormwater detention facility now exists on site which services Phase 1.

There are currently no permanent potable water or wastewater services on the Plan Area. Connections for both of these services exist at Smith Avenue (*on the N.E. edge of the site*) and Laut Avenue (*south of the site*). There are also no stormwater services within this Plan Area at this time.

2.6 PROJECTED GROWTH - TOWN OF CROSSFIELD AND THE PLAN AREA

2.6.1 Town of Crossfield Population Growth/Education

2.6.1.1 Town of Crossfield Population Growth

The Town of Crossfield conducted a survey in 2005 and at that time their population was 2603 which forms the base for the population projections shown in Table 2. The Town of Crossfield is currently growing at an estimated rate of 4.6% per year⁴ as indicated by the population and land requirement forecast. The most conservative growth rate (of 4 %) indicates a potential population increase of approximately 3100 to yield a total population of 5703 by 2025. At this conservative rate of growth an estimated demand for approximately 1,000 homes will occur by the year 2025 (based on an average household size of 3.1).

TABLE 2
ESTIMATED POPULATION GROWTH FOR THE TOWN OF
CROSSFIELD

<i>Year</i>	<i>4%</i>	<i>6%</i>	<i>8%</i>	<i>10%</i>	<i>Variable *</i>
2005	2603	2603	2603	2603	2603
2010	3167	3483	3825	4192	4192
2015	3853	4662	5620	6752	6390
2020	4688	6238	8257	10873	9389
2025	5703	8348	12132	17512	12801

** The Variable scenario assumes a 10% Growth Rate to 2012, 8% to 2022 and 6% to 2025.*

⁴ *Town of Crossfield Population and Land Requirement Forecast, ISL Engineering and Land Services, July 2006.*

2.6.1.2 Education

The Town of Crossfield presently has two public schools. Crossfield Elementary School serves Kindergarten to Grade 5 and W.G. Murdoch Junior and Senior High School serves Grades 6 to 12. There presently is no Middle School.

Documentation provided by the Town of Crossfield indicates that according to Rocky View School Division, additional schools will be required as part of the proposed annexation, however Rocky View School Division has also indicated that no reserve dedication is required for this Plan Area.

2.6.2 Plan Area Population Growth/Education

2.6.2.1 Plan Area Expected Population

The variety of housing types will contribute population growth to the Town of Crossfield with the development of each phase. An approximate range of 500 to 700 dwelling units is expected to yield an approximate growth at the end of build out of 1700 people. This is based on a residency of 2.8 people per dwelling unit.

2.6.2.2 Education

The Rocky View School Division No. 41 has identified a need for a middle or high school (*approximately 15 acres in size*) west of the Plan Area site west of Range Road 12. Dedication of a site within the Plan Area was not identified as required on this site through consultation with the Rocky View School Division.

3. PUBLIC CONSULTATION

An open house was held in the Town of Crossfield Community Centre on August 23, 2001 to show the public the proposed Knight's View development (which remains very similar to the concept included in this Area Structure Plan). Approximately 40 individuals attended the Open House. The feedback concerning the Area Structure Plan was supportive of the overall concept. A number of specific comments/requests from that Open House were incorporated into the design.

A second open house was held in the Crossfield Community Hall on Aug 29th, 2007 for the Sunset Ridge Area Structure Plan (Sunset Ridge ASP) in order to both provide updated information and obtain public feedback concerning the Sunset Ridge ASP. Approximately 125 people attended the Open House and reviewed the displays provided for the public.

Participants indicated their present location on a pin board map of Crossfield and were also encouraged to complete a comment sheet which 36 people did. Overall about half the participants thought it was a great development. Almost ¼ of the comments sheets indicated the individuals liked the development and had suggestions. About 1/3 had particular concerns which the consultants and land owners attempted to address at the open house. Only 1 respondent didn't like the proposed development.

The most frequently expressed suggestions/concerns were as follows:

- 7 - More information was required about schools
- 7 - The order of phasing
- 6 - Increased traffic/Steven St/Smith Ave and Sunset Link
- 6 - Impacts (including increased taxes) on police/fire/EMS/Emergency evacuations
- 4 - Upgrading municipal services and any shared cost/upgrades with no treatment plant

Comments on the proposed amenities included:

- 11 - Great idea with more walking spaces/safe from traffic.
- 3 - Ensure that pathways are finished/not like Phase 1

Comments on the mixed use area (commercial and residential) included:

- 11 - Great idea rather than everything on main street/will be very handy/commercial growth outside of downtown will allow for future growth of the town/mixed use would be a good step for Crossfield to finally take.
- 3 - Great ideas and hope to see affordable housing for factory workers and youth - rentals
- 3 - Oversupply of commercial already, more not needed/don't take away from downtown.

Other Comments included:

- 9 – Looking forward to the development and what the growth and future hold for Crossfield.

In responding to the concerns noted by the public the following actions have/will be taken:

- Redesign of the corner of Sunset Link and Smith Ave to create a more favourable situation for the existing residents' lots at the time of tentative plan preparation stage.
- Ensuring provincial and municipal regulations are followed throughout the design and construction of the subdivision to meet municipal servicing requirements.
- In discussion with John Wheatley of the Rocky View School Division, Sunset Ridge was advised that no school site dedication will be required for the plan area.
- Responsible phasing adjustments to ensure market conditions are appropriately.

In summary a clear majority of respondents are in favour (great development or like it and have suggestions) of the proposed Sunset Ridge development. Only one comment sheet indicated a dislike for the proposed development and there were no "on the fence" (no opinions) provided.

4. LAND USE STRATEGY

4.1 INTRODUCTION

The Land Use Strategy outlines the principals, the location of various land uses and the order in which they will be implemented through phasing.

4.2 LAND USE POLICY AREAS

4.2.1 General

The Plan Area future land uses are outlined on Figure 4 – Future Land Use Scenario.

Policy 4.2.1.1 Land uses within the Plan Area shall conform to the land use structure contained herein as generally identified in Figure 4 – Future Land Use Scenario and in accordance with the policies contained within this Plan.

Policy 4.2.1.2 Tentative Plans of Subdivision prepared for the Plan Area should be in general accordance with Figure 4 – Future Land Use Scenario.

Policy 4.2.1.3 Lot layouts shown in Figure 4 – Future Land Use Scenario are conceptual only and may not reflect the final design, number or sizes of lots that may be proposed in future tentative plans of subdivision. The final size, configuration and design of individual parcels proposed through subdivision shall be determined at the tentative subdivision plan approval stage and shall conform to the provisions of this Plan.

Policy 4.2.1.4 All lots proposed to be created as the result of the subdivision of lands within the Plan Area shall comply with the minimum requirements of the Land Use Bylaw.

4.2.2 General Residential

The future residential land uses are situated to form natural extensions of existing residential development within the Town of Crossfield. Within the various density levels, approximate area calculations for each of the land uses contained in this Sunset Ridge Area Structure Plan are provided in Table 3. As individual parcels are configured and proposed through subdivision, these area calculations are subject to minor change. The overall density shall be precisely determined at the tentative subdivision plan approval stage. In the interim the overall densities meet the density range required in the Municipal Development Plan.

Policy 4.2.2.1 Residential development shall comprise the dominant land use within the Plan Area.

Policy 4.2.2.2 An overall density of six and one half (6.5) dwelling units per gross acre should be maintained within the Plan Area in accordance with Figure 4 - - Future Land Use Scenario and the provisions of the Town of Crossfield General Municipal Plan.

Policy 4.2.2.3 Consideration of maximum house height should be cognizant of topography and the views from nearby homes to ensure that, where possible, views are not impacted as well as ensuring the compatibility of urban scale and character within the Plan Area.

Policy 4.2.2.4 Minor changes at the tentative plan preparation stage which may include alternative alignments of local streets, minor adjustments in the land use structure of the Plan Area and deemed appropriate by the Town of Crossfield, may be considered without amendment to this Plan provided the overall purpose and objectives of this Plan are maintained.

Policy 4.2.2.5 Transition areas between residential/commercial/industrial land uses should address the buffering requirements by separating both visually and spatially the distinct land uses via landscaping, fencing, walkways, parks, and/or roads.

Policy 4.2.2.6 Pedestrian linkages should be provided within all residential areas and between residential and commercial areas in order to encourage "walkable communities" and sustainable practices. This should be achieved through walkways, pedestrian crossings and open spaces.

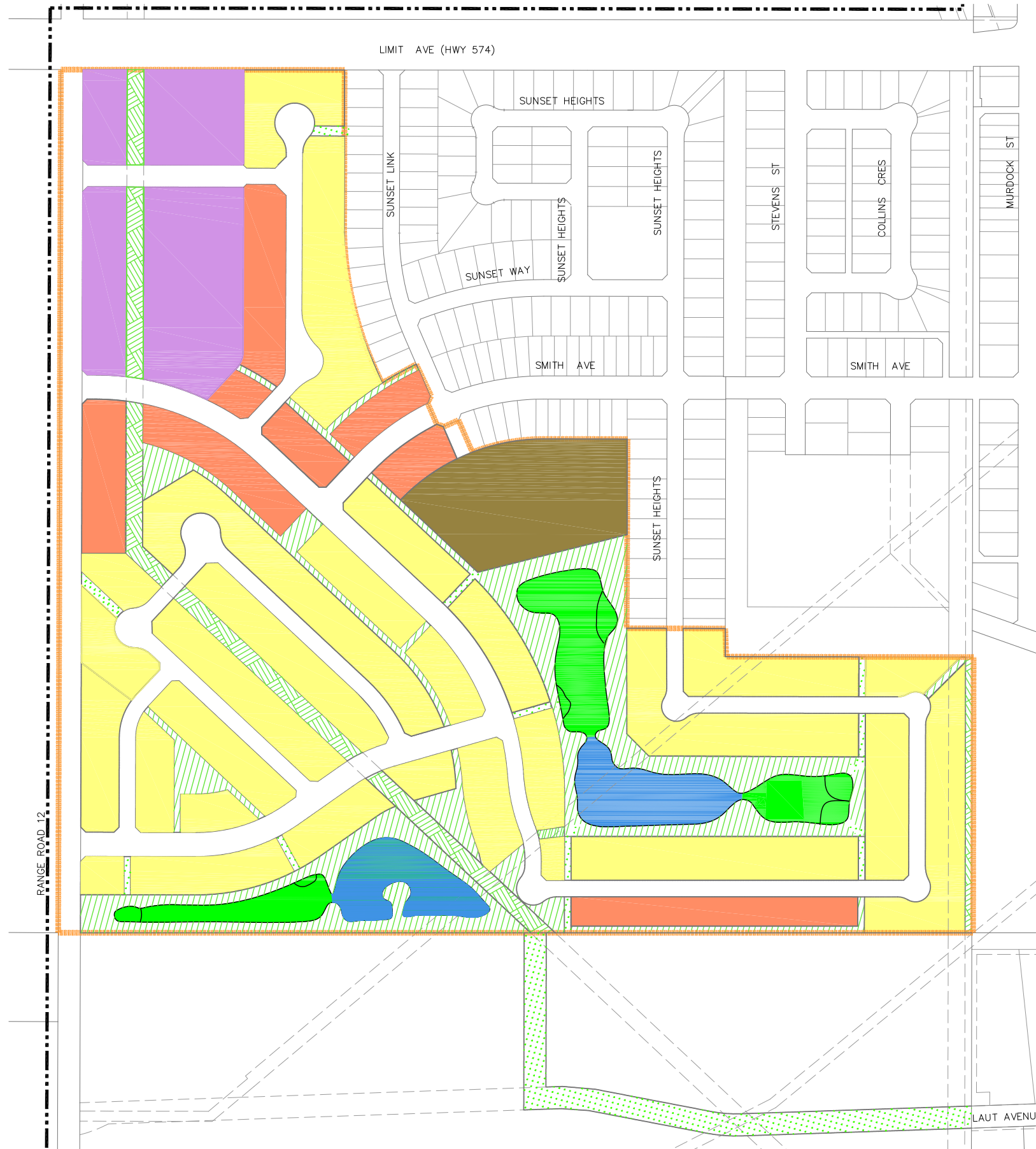
Policy 4.2.2.7 A variety of lot sizes should be provided in order to facilitate the development of a diverse range of housing types.

4.2.3 Residential Low Density – Single Detached Dwellings

The low density single detached dwellings are located throughout the Plan Area and form the predominant land use. Within this grouping of single detached dwellings – 2 sizes of lots are shown. Larger lots (*on Figure 4*) are clustered near the stormwater facility on the west side and also to the east of the eastern stormwater facility. The smaller lot single detached dwellings (*on Figure 4*) make up the remainder of this grouping.

SUNSET RIDGE
CROSSFIELD, ALBERTA

FUTURE LAND USE SCENARIO



LEGEND:

- TOWN BOUNDARY
- PLAN AREA
- COMMERCIAL/MIXED USE
3.42 ha (8.45 ac) 8.9%
- LOW DENSITY
14.87 ha (36.74 ac) 38.6%
- LOW/MEDIUM DENSITY
3.47 ha (8.57 ac) 9.0%
- MEDIUM/HIGH DENSITY
1.79 ha (4.42 ac) 4.7%
- STORMWATER FACILITY
2.95 ha (7.29 ac) 7.7%
- PSR (MR) 4.27 ha (10.55 ac) 11.1%
- PSR (PUL) 0.290 ha (0.72 ac) 0.75%
- PSR (URW) 1.45 ha (3.58 ac) 3.8%
- TRANSPORTATION NETWORK
6.00 ha (14.83 ac) 15.6%

AREA 38.51 ha (95.16 ac) 100%

DATE: JULY 03, 2007 SCALE: NTS

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W759-004 **FIGURE 4.0**

4.2.4 Residential Low to Medium Density – Duplexes/Townhouses/Semi-Detached

Areas surrounding Smith Avenue, the west access to the Plan Area, a portion of the south edge of the Plan Area and a portion of land next to the commercial/mixed use north western area are included in this land use. This grouping matches similar existing development to the east along Smith Avenue and acts as a transition area to a variety of uses.

4.2.5 Residential - Medium to High Density

The centrally located Medium to High Density Site provides for a residential area in which high residential densities and multiple dwelling unit developments such as apartments, attached housing, triplexes, and fourplexes may be permitted. One 1.8 ha (4.5 acre) block is centrally located within the Plan Area. Access to this block is from Smith Avenue.

Policy 4.2.5.1 Details concerning the actual type, size, design and orientation of the multifamily residential area will be prepared in conjunction with a subdivision application. It is expected that that development will include proportionately larger green space areas in locations beside low density housing. It is also expected that the clustered building footprints will be located close to the dry pond area in order to maximize the storm water views.

Policy 4.2.5.2 Site planning will give consideration to minimizing impact on adjacent development through siting of buildings, stepping down building height, landscaping, architectural appearance, lighting, and traffic circulation.

4.2.6 Commercial/Mixed Use Area

The employment of neighbourhood (or small scale) commercial land use within the Plan Area provides for business/retail/office developments to serve needs of the local neighbourhood. These areas can facilitate the development of new housing options, provide for local commercial opportunities and serve as a focus for neighbourhood gathering and activities. The site is approximately 3.47 ha (8.58 ac) and could be used for a variety of uses including restaurants, retail stores, offices, gas bars with convenience stores incorporating small apartments/condominiums upstairs. Second and third floor residential development in combination with the neighbourhood commercial on the first floor provides a live/work opportunity. Photos are included to show a variety of possible themes/visual approaches to this type of development



Photo shows a mixed use development (Mackenzie Town, City of Calgary)



Photo shows a mixed use development (Langdon)



Photo shows a mixed use development (Garrison Woods, City of Calgary)

Policy 4.2.6.1 The commercial/mixed use area will be located as shown conceptually on Figure 4.0 Future Land Use Scenario and will include residential and retail/commercial uses.

Policy 4.2.6.2 Within the commercial/mixed use area building heights will encompass the ground level commercial and two full stories of residential with the possibility of loft space in addition.

Policy 4.2.6.3 The neighbourhood commercial shopping facilities should serve local neighbourhoods.

Policy 4.2.6.4 The residential component could encompass smaller residential units in order to promote affordable housing.

4.3 DENSITY

With the variety of residential land uses included in this Area Structure Plan, the density of housing or number of units per ha (acre) is expected to be approximately 13 units per hectare (5.25 units per acre). This meets the Municipal Development Plan policy of a density ceiling of 6.5 units per gross acre.

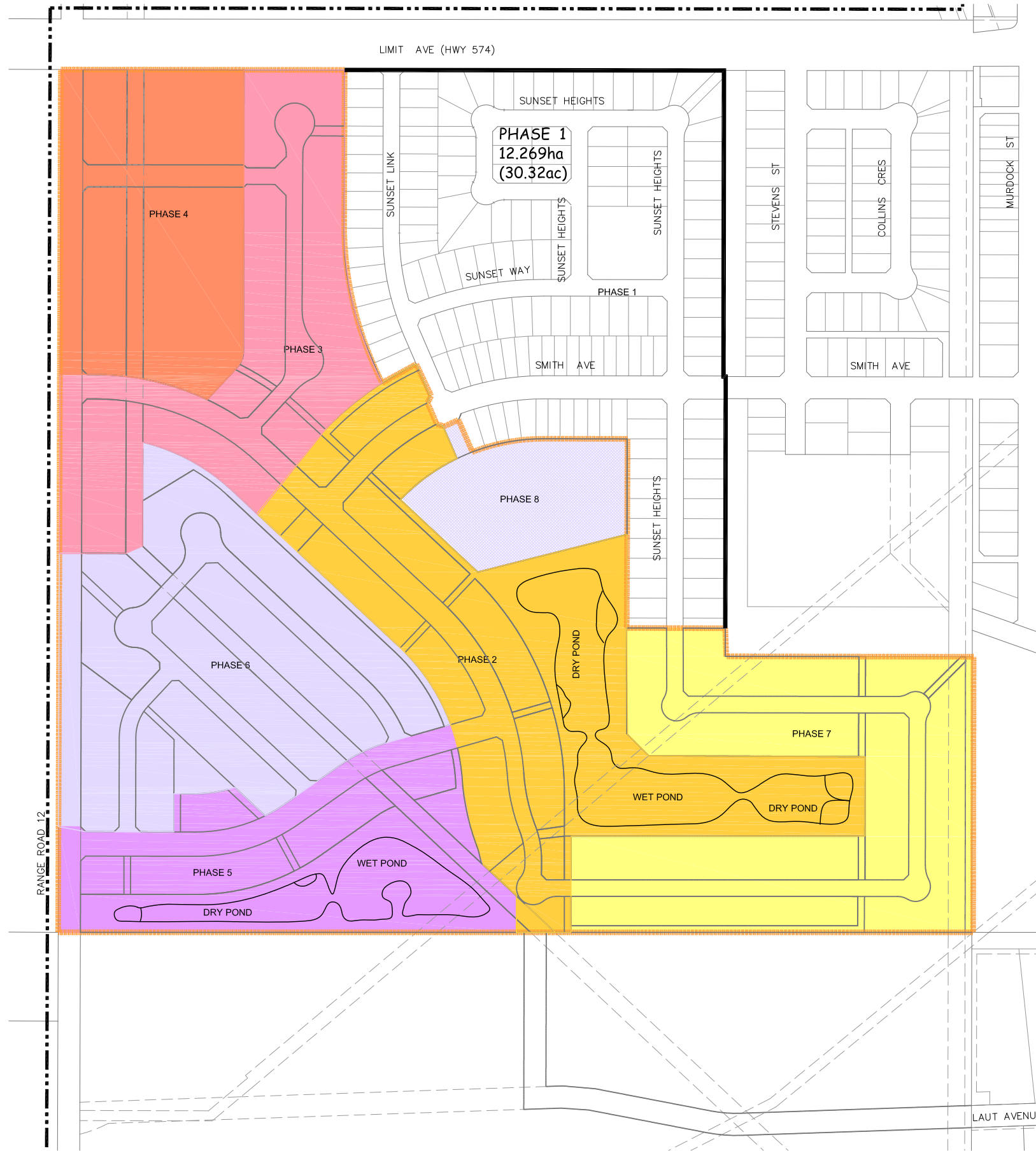
4.4 PHASING

The preliminary phasing of the Plan Area is shown on Figure 5.0 – Phasing Boundaries. Eight phases are proposed and respond to both servicing requirements as well as expected future market conditions.

Table 3 includes the Land Use Statistics by phase and land use for the Plan Area. The previously constructed Phase 1 contained 119 low density units and 30 low to medium density units for a total of 149 units. The unit density in the remaining phases 2 to 8 are anticipated to create an average of 13± upha (5.3 upa) on the entire 50.8 ha area (125.5 acres).

Policy 4.4.1 Figure 5 – Phasing illustrates the preferred phasing within the Plan Area and development could proceed in accordance with this Plan's Future Land Use Scenario.










Policy 4.4.2 Subdivision and development within the Plan Area is intended to proceed in seven (7) phases matched to a logical progression of servicing. Subdivision and development may proceed in multiple phases or in a reduced phase size without amendment to this Plan provided that the Town of Crossfield is satisfied that the required infrastructure to sustain the planned subdivision and development is in place and/or available at the time of approval.



SUNSET RIDGE
CROSSFIELD, ALBERTA

PHASING BOUNDARIES

LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PHASE 2
8.84 ha (21.84 ac)
-  PHASE 3
4.97 ha (12.28 ac)
-  PHASE 4
4.10 ha (10.13 ac)
-  PHASE 5
4.87 ha (12.03 ac)
-  PHASE 6
7.00 ha (17.297ac)
-  PHASE 7
6.89 ha (17.03 ac)
-  PHASE 8
1.84 ha (4.55 ac)

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TABLE 3
LAND USE STATISTICS FOR SUNSET RIDGE ASP

Land Use Types	No. of Units	Ha	Area	
			Acres	% of Total
Phase 2				
Low		2.51	6.20	28.3
L-Medium		0.84	2.09	9.5
Roads		1.32	3.27	14.9
PSR (MR)		2.14	5.29	24.2
PSR (PUL)		1.98	5.03	23.1
PSR (URW)		0.05	0.12	22.5
		8.84	21.88	100
Phase 3				
Low		1.64	4.06	33.0
Low/Medium		1.94	4.79	39.0
Roads		1.11	2.74	22.3
PSR (MR)		0.05	0.12	1.0
PSR (PUL)		0.03	0.07	0.6
PSR (URW)		0.20	0.47	4.1
		4.97	12.27	100
Phase 4				
Mixed Use		3.42	8.44	83.4
Roads		0.29	0.72	7.1
PSR (URW)		0.39	0.97	9.5
		4.10	10.13	100
Phase 5				
Low		1.34	3.32	27.5
Roads		0.80	1.98	16.4
PSR (MR)		1.35	3.34	27.7
PSR (PUL)		1.11	2.75	22.8
PSR (URW)		0.27	0.67	5.6
		4.87	12.06	100
Phase 6				
Low		4.82	11.90	68.9
Roads		1.23	3.04	17.6
PSR (MR)		0.53	1.31	7.5
PSR (URW)		0.39	0.97	5.6
PSR (PUL)		0.03	0.07	0.4
		7.00	17.29	100
Phase 7				
Low		4.56	11.27	66.2
L-Medium		0.69	1.71	10.0
Roads		1.20	2.97	17.4
PSR (MR)		0.20	0.49	2.9
PSR (PUL)		0.09	0.22	1.3
		0.15	0.37	2.2
		6.89	17.03	100
Phase 8				
Med - High		1.79	4.42	97.4
Roads		0.05	0.12	2.6
		1.84	4.54	100

5. INFRASTRUCTURE

5.1 SERVICES

5.1.1 General

Policy 5.1.1.1 The developer of lands within the Plan Area (and applicable for off site infrastructure) to benefit from the “endeavour to recover” provisions of the Town’s current Development Agreement in the event of the requirement to upgrade Range Road 12, Limit Avenue, infrastructure over sizing, and adjacent property connection points.

5.1.2 Roads

The internal roadway network intended to serve the Plan Area is shown conceptually on Figure 6 – Roadway Classification. The proposed designated collector will arc through the development as shown on Figure 6. The desire line for traffic limits the traffic flow within residential areas not directly serviced by collector roadways. These roads will be designated residential roadways.

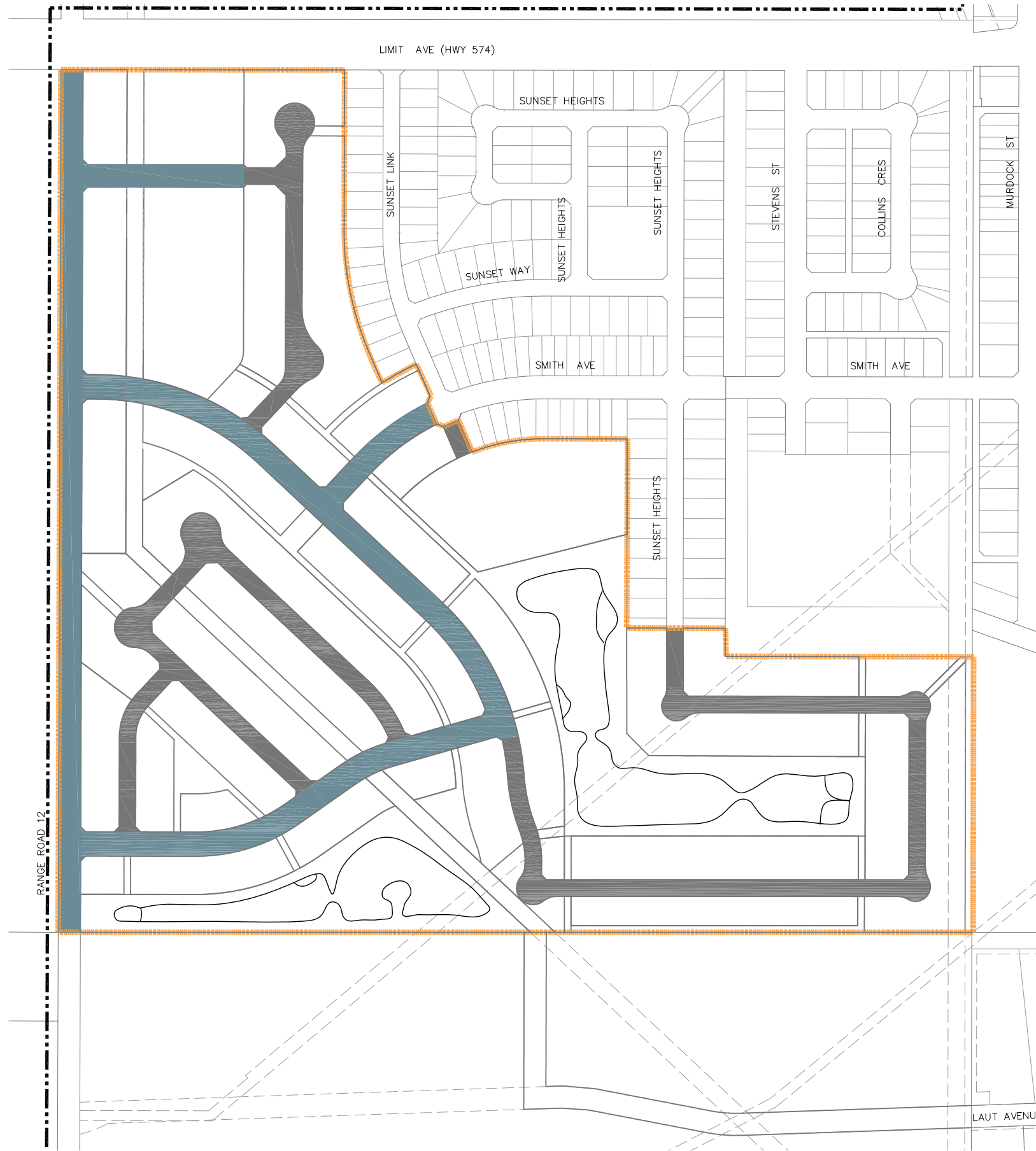
Traffic Impact Assessment was completed Bunt & Associates in May of 2002. The major recommendations include:

1. Sunset Link/Highway 574 access constructed as urban, two lane cross section (Type Ia) providing it falls within the 30km/hr speed zone and Highway 574 is reconstructed to an urban standard.
2. Range Road 12/Highway 574 constructed as a Type IIb intersection at such time as warranted by population growth.

Range Road 12 provides the western access point while forming the western boundary of the Plan Area. Required upgrades to Range Road 12 will result in the road serving as a residential collector. The intersection of Limit Avenue and Range Road 12 is expected to require upgrading as a part of the development of the Plan Area.

Policy 5.1.2.1 The internal road network within the Plan Area should be in accordance with Figure 6 - Roadway Classification and Figure 4 – Future Land Use Scenario.





Policy 5.1.2.2 The potential for future transit service should be addressed in future tentative subdivision plans.



SUNSET RIDGE
CROSSFIELD, ALBERTA

ROADWAY CLASSIFICATION

LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  RESIDENTIAL
-  COLLECTOR

DATE: JULY 03, 2007 SCALE: NTS

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W759-004 **FIGURE 6.0**

Policy 5.1.2.3 The residential cells will be linked to the proposed residential collector roadways, and shall be constructed in phases to ensure appropriate traffic flows.

Policy 5.1.2.4 Range Road 12 and Limit Avenue shall require upgrading as the result of the subdivision and development of the Plan Area. Upgrades to Range Road 12 and Limit Avenue shall be determined at the tentative plan preparation stage and shall require the preparation of a phase specific traffic impact assessment update. The TIA shall determine the upgrade limits threshold requirements. Upgrades required to Range Road 12 and Limit Avenue shall be the responsibility of the Developer as determined by the TIA and agreed to by the Town of Crossfield.

Policy 5.1.2.5 The upgrading of the intersection of Range Road 23 and Limit Avenue shall be determined at the tentative plan preparation stage and shall require the preparation of a phase specific traffic impact assessment update. The TIA shall determine the upgrade limits and threshold requirements. Intersection upgrades shall be the responsibility of the Developer as determined by the TIA and agreed to by the Town of Crossfield.

Policy 5.1.2.6 The Town of Crossfield shall, on behalf of the Developer, implement "Endeavour to Recover Principles" in accordance with the Town of Crossfield policies for the recovery of the upgrading costs of boundary roads from other benefiting parties.

Policy 5.1.2.7 All internal roads within the Plan Area shall be dedicated as Public Roads and will be owned and maintained by the Town of Crossfield. All Public Roads shall be built to standards and specifications of the Town of Crossfield.

Policy 5.1.2.8 Parking shall be included on both sides of all Plan Area streets.

5.1.3 Potable Water

The Town of Crossfield shall provide potable water to the Plan Area. At the time of Plan preparation, the Town of Crossfield municipal waterworks system had sufficient capacity to supply potable water to the Plan Area.

Policy 5.1.3.1 Subdivision and development of the Plan Area shall require the construction of a water main at the Developers sole expense from the southern portion of the Plan Area to Laut Avenue as shown on Figure 8.0. The construction of the water main shall require a utility right of way through lands outside of the Plan Area. In this regard, the Town of Crossfield shall facilitate the provision of rights of way and/or easements necessary to accommodate the proposed watermain as follows:

- a) Where lands outside the Plan Area are proposed to accommodate the water main identified in this Plan and are owned by the Town of Crossfield, the Town of Crossfield shall provide for the required right of ways and/or easements. All costs associated with provision of the required right of way and/or easements by the Town of Crossfield shall be borne by the Developer.
- b) Where the lands outside the Plan Area are proposed to accommodate the water main identified in this Plan and are not owned by the Town of Crossfield, the Town of Crossfield may require at such time as these lands are proposed for subdivision or development, the dedication of the required right of ways and/or easements as a condition of subdivision or development approval. All costs associated with provision of the required right of ways and/or easements by the Town of Crossfield shall be borne by the Developer of the Plan Area.

Policy 5.1.3.2 An offsite connection shall be made during Phase 2 development to an existing watermain stub located on Laut Avenue and an onsite connection to the stub located at the Smith Avenue. The offsite connection shall be installed within a Public Service, School and Recreation District (Utility Right of Way) accommodated by the Town of Crossfield.

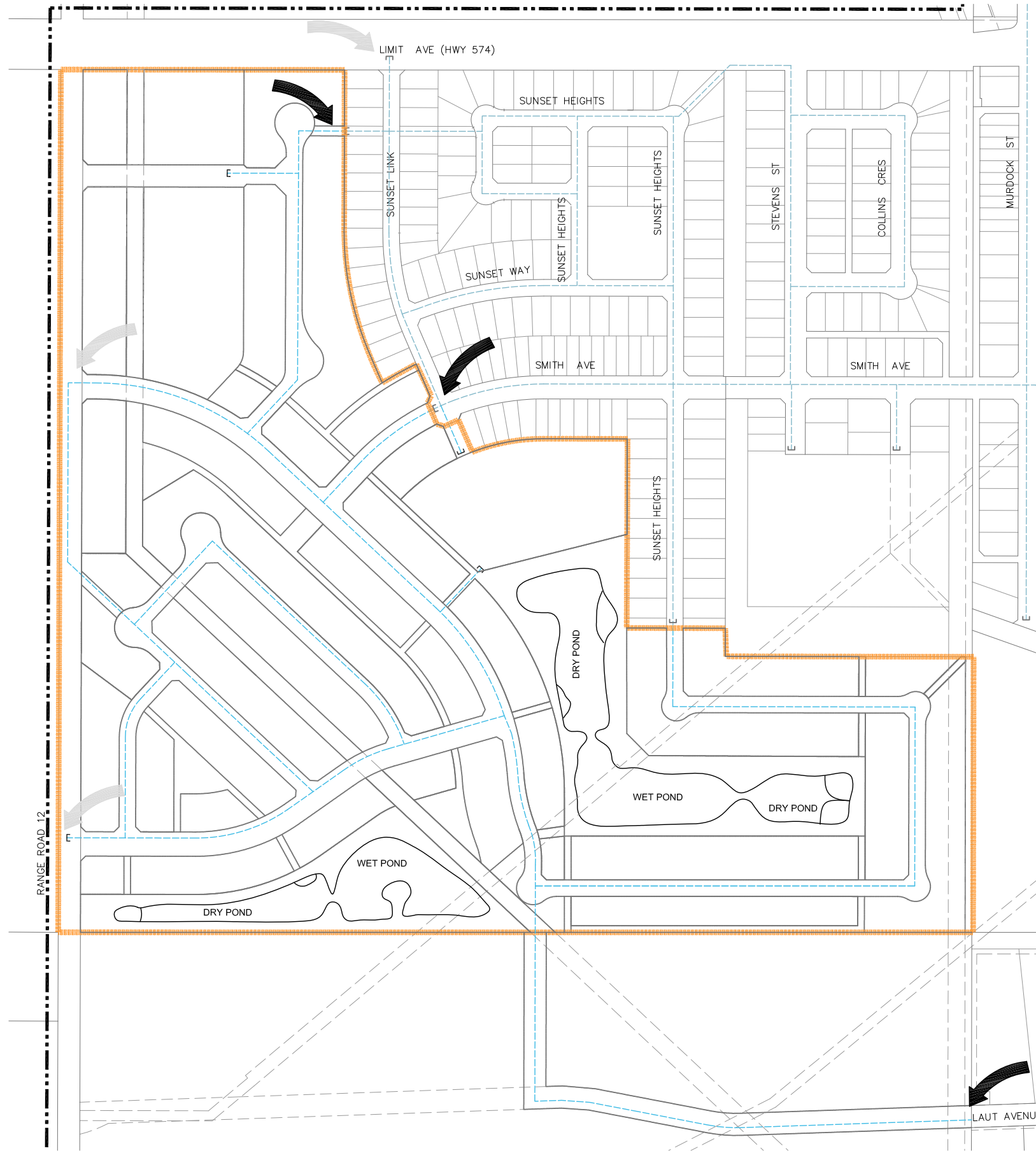
Policy 5.1.3.3 The proposed water main for the Plan Area shall be oversized to handle flows for future developments north and west of the Plan Area boundary. The Town of Crossfield shall, on behalf of the Developer, implement "Endeavour to Recover Principles" in accordance with the Town of Crossfield policies for the recovery of the oversizing costs from other benefiting parties.

Policy 5.1.3.4 Grid mains as shown on Figure 7 – Water Servicing Mains shall be located through the Plan Area.

Policy 5.1.3.5 Grid mains shall allow for future developments adjacent to the west and north of the Plan Area as shown on Figure 7.0 – Water Servicing Mains.

5.1.4 Wastewater









There is an existing wastewater main on Laut Avenue. The conceptual phasing plan is developed to utilize the nearest point of tie to the existing wastewater collection system. Phase 1 development (*Phases 1A, 1B and 1C*) is serviced by a main located at the east boundary of the proposed development on Smith Avenue (*Figure 8.0 – Wastewater Mains*). Development beyond these phases cannot be serviced from this point due to capacity restrictions.



SUNSET RIDGE
CROSSFIELD, ALBERTA

WATER SERVICING MAINS

LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PROPOSED WATER MAIN
-  EXISTING WATER MAIN
-  PROPOSED PLUG
-  EXISTING PLUG
-  PROPOSED CONNECTION
-  FUTURE SERVICE CONNECTION

DATE: JULY 03, 2007 SCALE: NTS

The wastewater catchment area shall be determined by the Town of Crossfield Engineering Consultant. This will include an assessment of connections to the main infrastructure for future development outside the Plan Area.

Policy 5.1.4.1 Subdivision and development of the Plan Area shall require the construction of a wastewater main at the Developers sole expense from the southern portion of the Plan Area to Laut Avenue as shown on Figure 8.0. The construction of the wastewater main shall require a utility right of way through lands outside of the Plan Area. In this regard, the Town of Crossfield shall facilitate the provision of rights of way and/or easements necessary to accommodate the proposed wastewater main as follows:

- a) Where lands outside the Plan Area are proposed to accommodate the wastewater main identified in this Plan and are owned by the Town of Crossfield, the Town of Crossfield shall provide for the required right of ways and/or easements. All costs associated with provision of the required right of way and/or easements by the Town of Crossfield shall be borne by the Developer.
- b) Where the lands outside the Plan Area are proposed to accommodate the wastewater main identified in this Plan and are not owned by the Town of Crossfield, the Town of Crossfield may require at such time as these lands are proposed for subdivision or development, the dedication of the required right of ways and/or easements as a condition of subdivision or development approval. All costs associated with provision of the required right of ways and/or easements by the Town of Crossfield shall be borne by the Developer of the Plan Area.

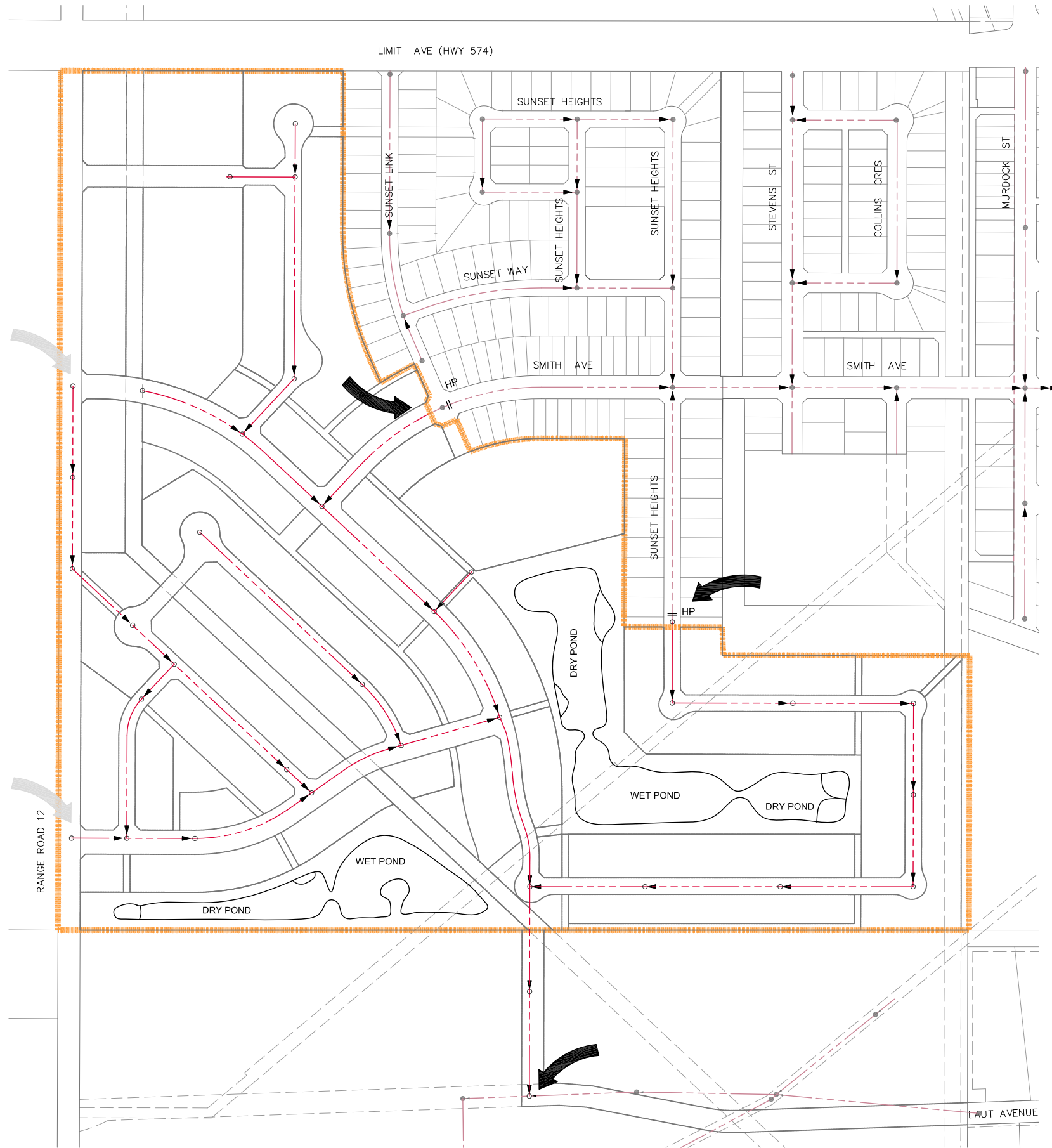
Policy 5.1.4.2 Subdivision and development of the Plan Area shall necessitate the construction of an offsite wastewater main at the cost of the Developer utilizing a Public Service, School and Recreation District (Utility Right of Way) accommodated by the Town of Crossfield, from Laut Avenue to the south side of the Plan Area

Policy 5.1.4.3 The proposed wastewater main for the Plan Area shall be oversized to handle flows from future developments north and west of the Plan Area boundary. The Town of Crossfield shall, on behalf of the Developer, implement "Endeavour to Recover Principles" in accordance with the Town of Crossfield policies for the recovery of the oversizing costs from other benefiting parties.

Policy 5.1.4.4 To maximize the wastewater catchment area, the infrastructure design shall include consideration for capacities, grade, and pipe diameter to the satisfaction of the Town of Crossfield.

SUNSET RIDGE
CROSSFIELD, ALBERTA

WASTEWATER MAINS



LEGEND:

- TOWN BOUNDARY
- PLAN AREA
- PROPOSED MAIN
- PROPOSED MANHOLE
- PIPE FLOW DIRECTION
- PROPOSED PLUG
- EXISTING MAIN
- EXISTING MANHOLE
- EXISTING PLUG
- PROPOSED CONNECTION
- FUTURE SERVICE CONNECTION

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W759-004 **FIGURE 8.0**

5.1.5 Stormwater Management

The Plan Area slopes gradually to the south. Post development stormwater management will be handled by both a minor system of collection and piping as well as major systems of overland flow and stormwater detention, as depicted on Figure 9.0 – Stormwater Servicing Plan and Overland Flow. An existing wetland to the north of the Plan Area is directed into a ditch that traverses the Plan Area.

Policy 5.1.5.1 Runoff from the Plan Area shall be retained in two stormwater facilities that will discharge south into an existing drainage channel at pre-development rates ultimately flowing into Nose Creek.

Policy 5.1.5.2 The runoff from the upstream existing drainage channel shall be accommodated as a flow-through via the proposed stormwater facility.

Detention Facilities

Located in the south-east and south-west portions of the Plan Area are the proposed stormwater facilities that will accommodate the runoff from the Plan Area and allow for a flow through condition within the catchment area.

The ponds storage requirement for a 1:100 year storm event was modelled using both single event and continuous simulations. Under these conditions, the Plan Area requires stormwater facilities with an active storage volume of approximately 43,000 m³.

Policy 5.1.5.3 The Stormwater management ponds shall meet the requirements as outlined in the Master Drainage Plan ⁵ for the Plan Area while accommodating the Master Drainage Plan for the Town of Crossfield⁶.

Pond Design Data

The proposed stormwater facilities will enhance the natural environment of the community by both controlling the stormwater runoff quantity and improving the water quality.

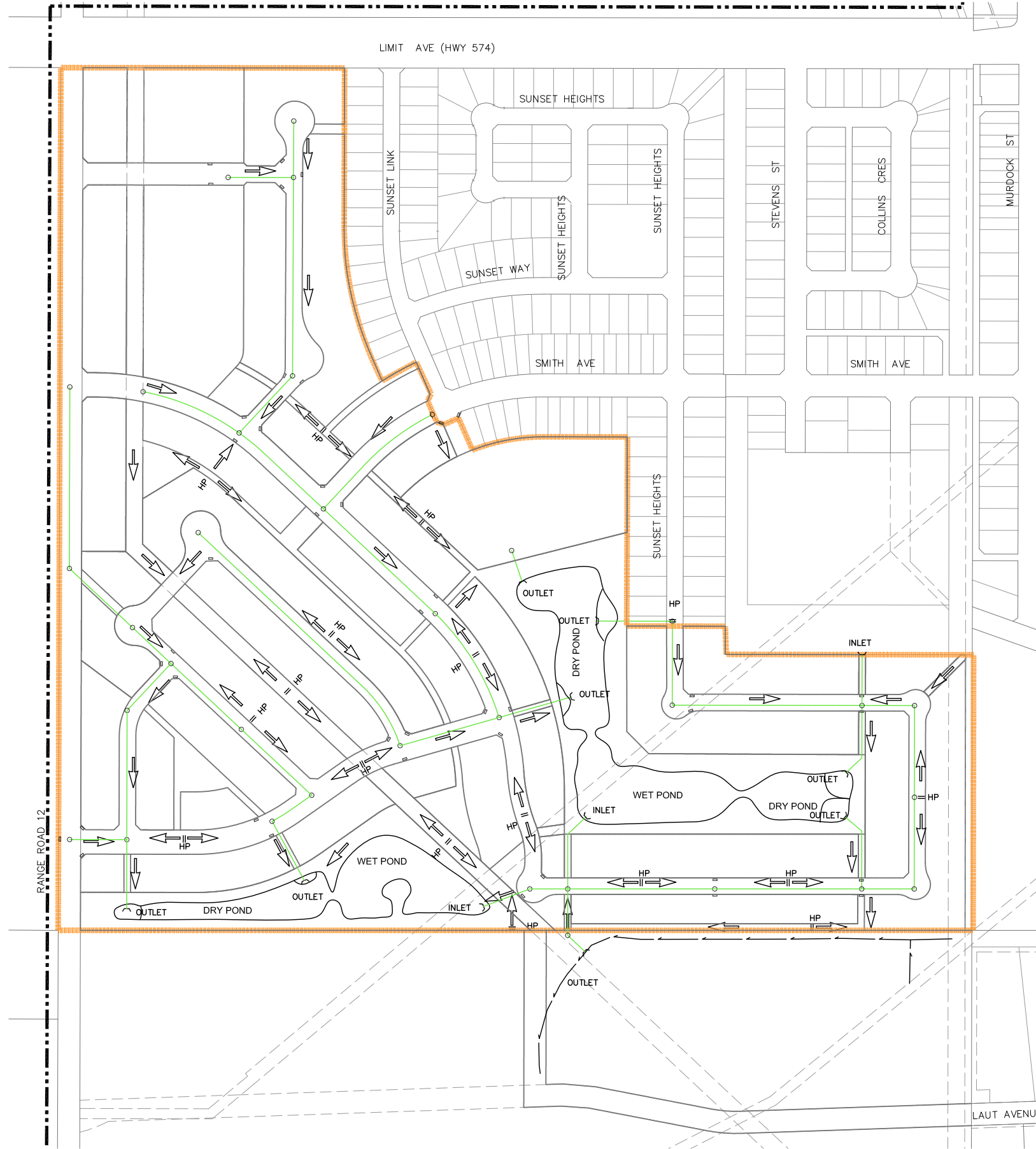
Policy 5.1.5.4 The stormwater management facilities shall meet the requirements of the approved Master Drainage Plan as it relates to pre and post development flow.

⁵ Westhoff Engineering Resource Inc., Master Drainage Plan for Knight's View Subdivision in Town of Crossfield; November 2001








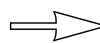

⁶ Master Drainage Plan for the Town of Crossfield, Westhoff Engineering Resources Ltd., December 2002.

SUNSET RIDGE
CROSSFIELD, ALBERTA

**STORMWATER MAINS
AND OVERLAND FLOW**



LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PROPOSED MAIN
-  PROPOSED WTD PIPE
-  PROPOSED MANHOLE
-  PROPOSED CATCH BASIN
-  HP
-  OVERLAND FLOW
-  PROPOSED STORM OUTFALL/INLET

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W759-004 **FIGURE 9.0**

Policy 5.1.5.5 The stormwater facilities are designed to improve the quality of the water by settling suspended solids. Natural vegetation within the pond areas, depending on the type and placement, shall act to improve to overall quality of the stormwater runoff.

Policy 5.1.5.6 The public pedestrian circulation system shall be integrated with the stormwater facilities for public recreational enjoyment.

Policy 5.1.5.7 The stormwater facility shall improve the aesthetic environment of the community. Aesthetically, the pond shall have a manicured (for example - maintained grass) and natural look (low maintenance large rock edges, native grasses), to suit the character of the surrounding neighbourhood.

5.1.6 Solid Waste

The Town of Crossfield provides garbage collection. The Town of Crossfield has a Solid Waste Transfer Site located approximately 300 metres to the south of the Sunset Ridge ASP area and south of Laut Avenue as shown on Figure 10.0. Some burning takes place south of the Solid Waste Transfer Site.

Within the next five years the Solid Waste Transfer Site is expected to move further away from the Plan Area. Homes within the identified setback zone as shown on Figure 10.0 cannot be constructed prior to the relocation of the Solid Waste Transfer Site.

Policy 5.1.6.1 Figure 10.0 – Solid Waste Transfer Site Setback, identifies the approximate location of solid waste transfer facilities outside the Plan Area and demonstrates the required setback of 300 metres (1,000 feet) of separation to a residential area. This should be considered during the evaluation of redesignation and subdivision proposals within this portion of the Plan Area.

Policy 5.1.6.2 Within the Plan Area, residential land uses shall not be located approved within 300 metres (1,000 feet) of a Solid Waste Transfer Site.

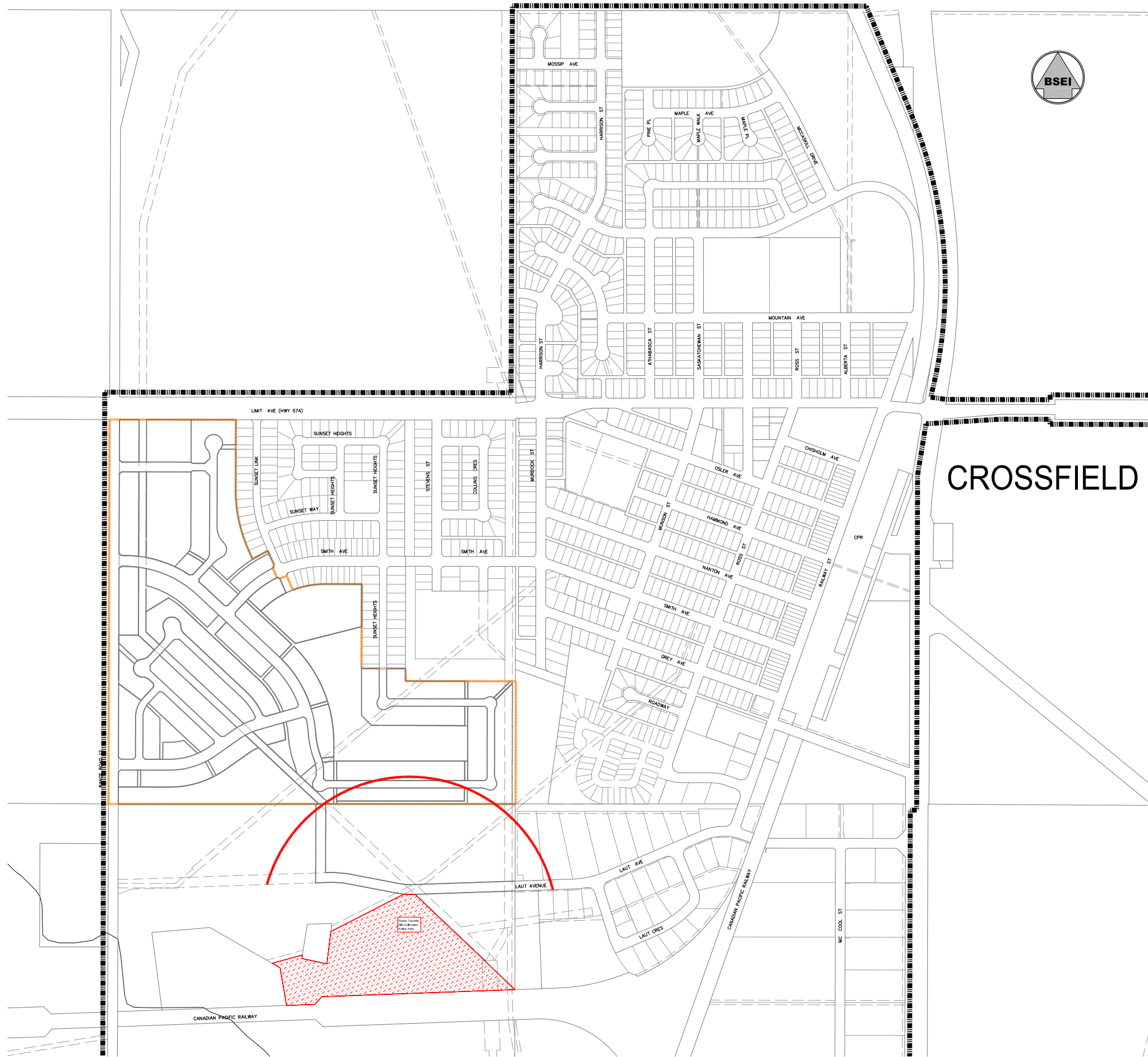
5.2 UTILITIES

5.2.1 Electricity, Gas and Telephone

Policy 5.2.1.1 Shallow utilities shall be provided by the appropriate utility company providing service to the Plan Area at the sole expense of the Developer.

SUNSET RIDGE
CROSSFIELD, ALBERTA

SOLID WASTE TRANSFER
SITE SETBACK



LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  SOLID WASTE TRANSFER SITE
-  300 METRE ENVELOPE

CROSSFIELD

DATE: JULY 03, 2007 SCALE: NTS

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W759-004 **FIGURE 10.0**

Policy 5.2.1.2 The Developer of the Plan Area shall provide easements to any utility company as required for services to the Plan area.

5.3 PROTECTIVE SERVICES

5.3.1 Fire Protection

The Town of Crossfield provides fire protection services to the Plan Area.

5.3.2 Police Protection

Within the Plan Area the RCMP provides protection and enforcement services and the Town of Crossfield supplies the Municipal Enforcement Unit.

5.4 OPEN SPACE/RESERVES

5.4.1 Open Space

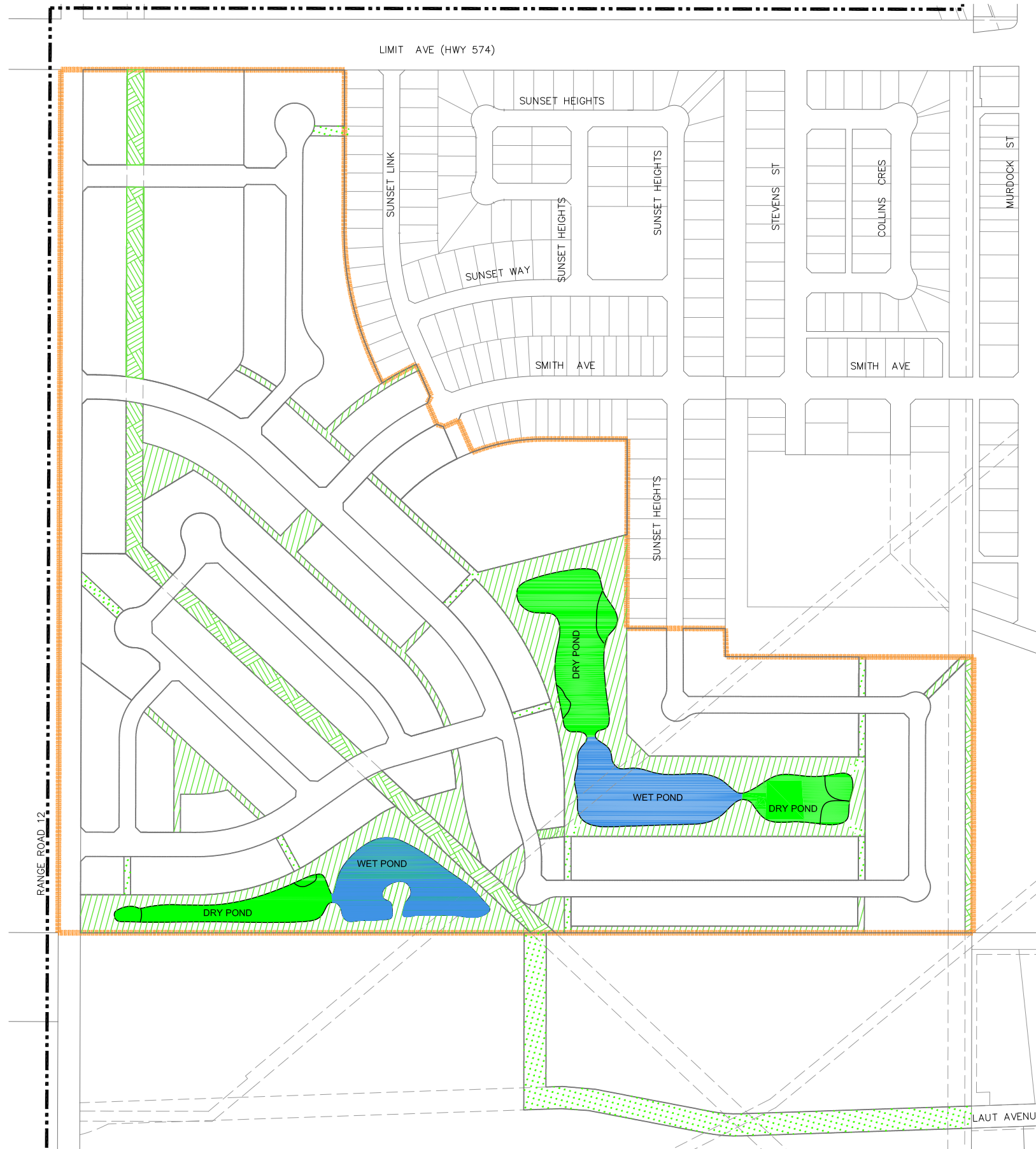
The Plan Area has a variety of types of open space both within its boundaries and as existing dedicated Municipal Reserve on accessible, adjacent space. The open space of the Plan Area is outlined on Figure 11.0 – Open Space. The open space will be divided into Municipal Reserve (MR), Public Utility Lot (PUL), Utility Right-of-Way (URW), and Storm Facility as the specific plans for each phase evolve. The open spaces serve a number of purposes for the site including internal and adjacent area walkway connections, local park areas, tot lots, oil and gas related utility easements, development utilities, and a storm water collection system.

Local park areas or tot lots typically require 0.2 ha (0.5 acre) area and are intended for local day use by adjacent residents who usually access this park space through the walkway system. Parks of this size will serve approximately 1000 residents.

Policy 5.4.1.1 Local parks can take the form of local playgrounds, community facilities, tot-lots, or linear parks. Specifics about the design and types of parks will be determined at the tentative plan preparation stage.

5.4.2 Reserves

Due to an over dedication of Municipal Reserve in the existing development of the quarter section to date, and MR dedication in Phase 1 of the Sunset Ridge Development, the Reserve dedication remaining is 3.783 ha (9.349 ac) (Table 1, Section 2.5.3).



SUNSET RIDGE
CROSSFIELD, ALBERTA

OPEN SPACE

LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PSR (STORMWATER FACILITY)
-  PSR (MR)
-  PSR (PUL)
-  PSR (URW)

DEVELOPMENT MR REQUIREMENT	4.258 ha (10.52 ac)
PHASE 1 MR DEDICATION	0.475 ha (1.17 ac)
REMAINING REQUIRED DEDICATION	3.783 ha (9.35 ac)
MR DEDICATION AS SHOWN	4.269 ha (10.55 ac)

DATE: JULY 03, 2007 SCALE: NTS

Policy 5.4.2.1 Municipal Reserves shall be provided in accordance with the provisions of the Municipal Government Act at the discretion of the Town of Crossfield as condition of subdivision approval at the subdivision approval stage having regard to the provisions of this Plan and the policies of the Town of Crossfield.

Policy 5.4.2.2 In accordance with the provisions of this Plan, the width and dedication of linear municipal reserve within the Plan Area shall be at the discretion of the Town of Crossfield as a condition of subdivision approval at the subdivision approval stage.

Policy 5.4.2.3 The system of linked linear parks and walkways (joint use areas and linear Municipal Reserve) provided for in Figure 11 – Open Space and Figure 12 – Walkways is an important design element of the Future Land Use Scenario for the Plan Area and this system of open spaces (open space/joint use) areas shall be provided as a condition of subdivision approval at the subdivision approval stage to the satisfaction of the Town of Crossfield.

5.4.3 Walkways

The public pedestrian circulation system is a network of interrelated walkways, linking the Plan Area to the greater community, defined community gathering spaces and green spaces. Pedestrian and cyclist linkages both within the Plan Area as well as connections to adjoining neighbourhoods form a critical component of “walkable communities”.

Figure 12.0 contains a series of walkways to provide linkages from almost every lot to new and existing neighbourhoods, to the mixed use commercial area and also integrated within the stormwater facilities.

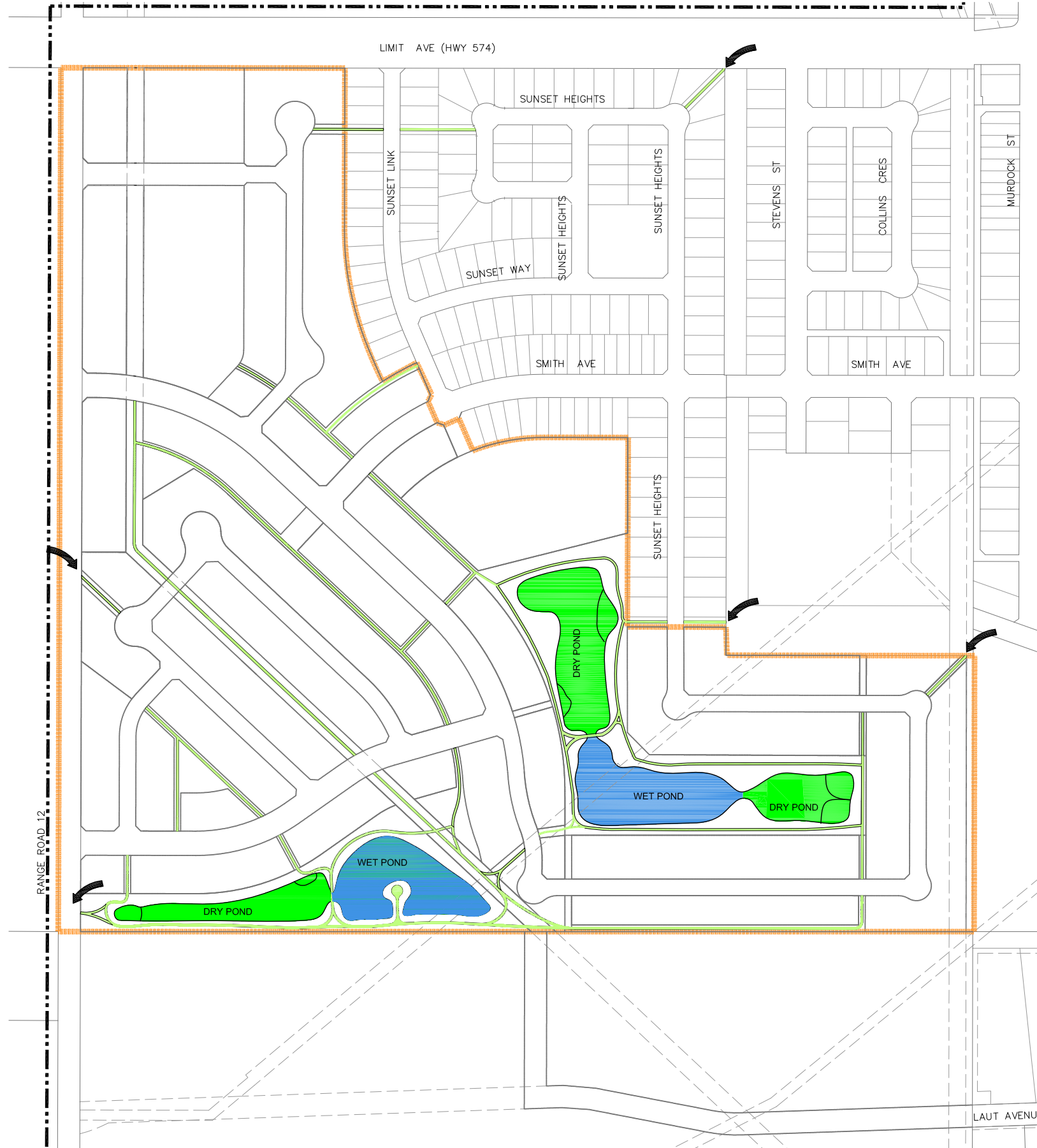
Policy 5.4.3.1 Ensure safe and convenient walkway connections are provided to provide linkages between existing and future developments both within and outside of the Sunset Ridge ASP.

Policy 5.4.3.2 Walkways for joint use by pedestrians and cyclists shall be designed within the open space system to link residential, mixed use commercial and open space land use areas. Walkways will adhere to the “walkable communities” philosophy of the Town of Crossfield.





Policy 5.4.3.3 The system of linear parks and walkways shall be designed and constructed in a manner that minimizes long-term maintenance to the satisfaction of the Town of Crossfield.

SUNSET RIDGE
CROSSFIELD, ALBERTA

WALKWAYS



LEGEND:

-  TOWN BOUNDARY
-  PLAN AREA
-  PAVED WALKWAYS
-  BOUNDARY WALKWAY CONNECTION LOCATION

DATE:	JULY 03, 2007	SCALE:	NTS
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W759-004	FIGURE 12.0
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Policy 5.4.3.4 Pedestrian walkways shall be paved and constructed in accordance with Town of Crossfield standards and specifications to the satisfaction of the Town of Crossfield.

Policy 5.4.3.5 Pedestrian walkways shall a combination of hard surfaced walkways, living ground cover (such as grass, shrubs and trees) and other landscaping elements (such as planting beds, berms and street furniture).

5.4.4 Crime Prevention through Environmental Design

Policy 5.4.4.1 The design of the open spaces and reserves should consider public safety as a key element of the design.

Policy 5.4.4.2 Parks within the Plan Area shall be designed to avoid the creation of potential entrapment areas. This includes but is not limited to appropriate placement of landscaping materials (shrubs, trees and earth berms), minimize long and narrow parks and ensure proper lighting of public spaces.

5.5 ARCHITECTURAL GUIDELINES AND ENFORCEMENT

5.5.1 Guidelines

The Architectural Guidelines provide both mandatory requirements and suggested actions for all future low and medium density residential development. These guidelines will be imposed by the Developer and are outside the responsibility of the Town of Crossfield. They are included for information only. Some policies, as noted, are directed also to mixed use development and high density residential development.

Policy 5.5.1.1 A 2-story maximum will be enforced for low density Residential development in order to retain views and create housing that blends with surroundings.

Policy 5.5.1.2 Within low density areas one story single detached dwellings are encouraged for corner lots in order to reduce the visual impact. The roof should slope to both the front and side streets. The side and front elevations should be of the same character and style as the front elevation.

Policy 5.5.1.3 Metal roofing shall not be permitted.

Policy 5.5.1.4 Exterior cladding options shall be encouraged to make use of natural materials such as wood, stone, or brick.

Policy 5.5.1.5 All low and medium density residences shall have a street orientation.

Policy 5.5.1.6 Colours that are derived from the surrounding natural landscape shall be encouraged.

Policy 5.5.1.7 Specialized housing types from a different region or country are often not appropriate and therefore shall not be encouraged.

Policy 5.5.1.8 All driveways shall be made from poured in place concrete, precast paving stones or interlocking brick or stone.

Policy 5.5.1.9 Residents are encouraged to use landscaping which will not obstruct future views of other residents. Residents are encouraged to restrict tree plantings to those species with a mature height of less than 5 metres in order to prevent restriction of views.

Policy 5.5.1.10 Fencing shall be permitted between homes but fencing shall not protrude beyond the front face of the house. The fencing used must be of the same character as any existing fence adjacent to the property and the perimeter fence of the development.

Policy 5.5.1.11 Retaining walls should be discouraged in this development.

Policy 5.5.1.12 All development within the Plan Area is encouraged to adopt water and energy conservation measures such as low flush toilets and energy efficient appliances.

Policy 5.5.1.13 Incorporate renewable energy solutions into the development where possible.

Policy 5.5.1.14 Where possible encourage Crossfield Council's vision to have development within the Crossfield community aspire to a "Build Green" or "Leeds" standard.

5.5.2 Enforcement

Architectural guidelines provide an additional emphasis on the quality and standard of the development.

Policy 5.5.2.1 Details regarding mechanisms for Architectural Guidelines should be outlined at the tentative subdivision plan stage in accordance with the requirements outlined in the Sunset Ridge ASP.

Policy 5.5.2.2 The developer shall have Architectural Guidelines placed on the title of each lot in the form of a restrictive covenant in order to provide more detailed controls.

5.6 LANDSCAPING PLAN

Details regarding the specifics of landscaping plans will be outlined at the tentative subdivision plan stage in accordance with the requirements outlined in the Sunset Ridge ASP.

These policies or requirements outlined below will exert a strong influence over the resulting development and result in a safe, attractive development with the potential for water conservation measures to be implemented.

Policy 5.6.1 Landscaping shall be required for public utility lots, linear parks, tot lots and public areas and shall be landscaped in accordance with a landscaping plan required as a condition of subdivision approval at the subdivision approval stage to the satisfaction of the Town of Crossfield.

Policy 5.6.2 Transition areas between residential/mixed use commercial land uses require buffering through visual and spatial means via either soft and/or hard landscaping, and/or parks.

Policy 5.6.3 Transition areas between residential and light industrial land uses shall require buffering through solid fencing. Soft landscaping through vegetation should also be considered.

Policy 5.6.4 Feature plantings at the main entries to the Plan Area or as a supplement to the development theme should be required to be outlined at the appropriate phase of the tentative subdivision plan stage.

Policy 5.6.5 Landscaping and site development standards proposed for development within the Plan Area should be considered at the time of subdivision approval, required as a condition of subdivision approval and to the satisfaction of the Town of Crossfield.

Policy 5.6.6 The landscaping plan considered at the time of subdivision approval shall include location; soft/hard plants/materials to be used; size and height of hard landscaping specifications; any street furniture, play structures, garbage collection facilities; and maintenance strategy.

Policy 5.6.7 The use of native plants as well as drought tolerant species is recommended as a means to reduce long term water consumption.

6. IMPLEMENTATION

6.1 IMPLEMENTATION OF SUNSET RIDGE ASP

It is anticipated that the subdivision and development of the Sunset Ridge Area Structure Plan will:

Policy 6.1.1 The Town of Crossfield shall implement the policies of the Sunset Ridge ASP through the subdivision approval process and conditions of subdivision approval.

6.2 PLAN REVIEW AND AMENDMENT

The Sunset Ridge Area Structure Plan is a bylaw of the Municipality. A formal process as outlined by the Municipal Government Act is required to amend the Sunset Ridge ASP.

Policy 6.2.1 The Sunset Ridge Area Structure Plan, adopted by Bylaw in accordance with Part 17, Division 12, Section 692 (1) of the Municipal Government Act, Chapter M-26, revised Statutes of Alberta, 2002 as amended, is a statutory plan of the Town of Crossfield.

Policy 6.2.2 Pursuant to the provisions of Part 17, Division 12, Section 692 (1) of the Municipal Government Act, Chapter M-26, revised Statutes of Alberta, 2002 as amended the Municipality shall hold a public hearing prior to giving any proposed amendment second reading.